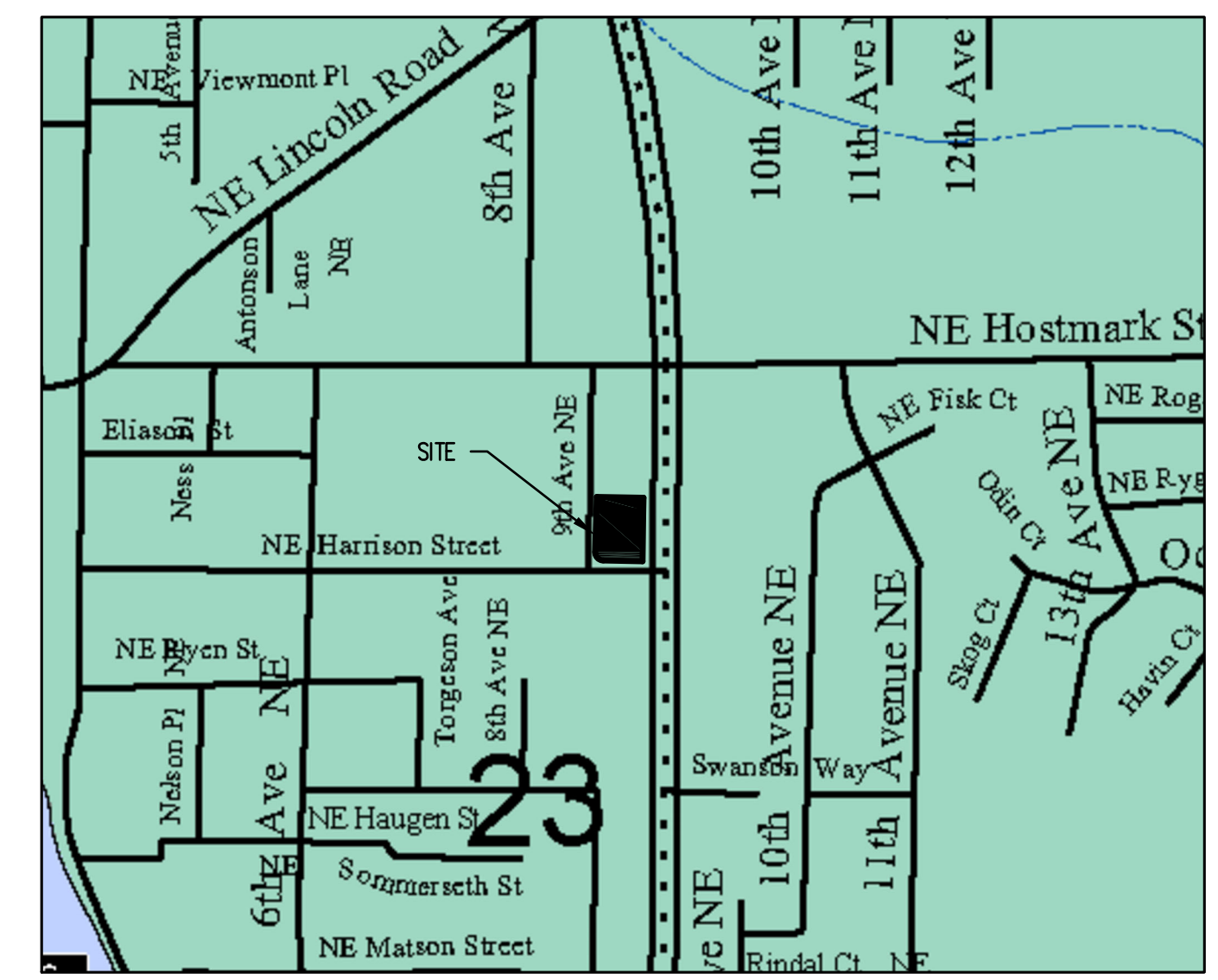


AKTIV – SPR SITE PLAN



VICINITY MAP
NW 1/4, SEC 23, TWN 26N, R 1E, W.M.
NTS

SITE DATA

LOCATION: 18681 STATE HIGHWAY 305 NE
POULSBO, WA 98370

OWNER OF RECORD: AKTIV LLC (c/o KELLY CLARK)
10661 OLD FRONTIER ROAD, SUITE 231
SILVERDALE WA 98383

CURRENT ZONE: C-3 SR 305 CORRIDOR

INTENDED USE: RESIDENTIAL

TAX PARCEL NO.: & LEGAL DESCRIPTIONS:
232601-1-092-2005 (0.14-ACRES)

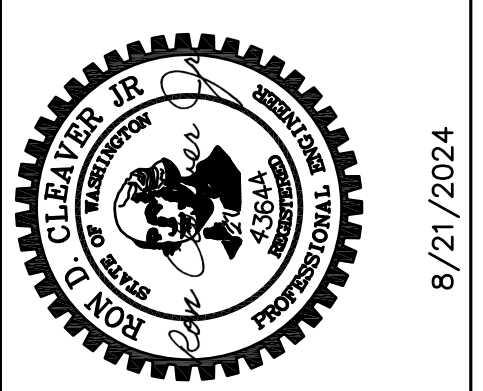
THAT PORTION OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER, SECTION 23, TOWNSHIP 26 NORTH, RANGE 1 EAST, W.M., IN KITSAP COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE WEST MARGIN OF SECONDARY STATE HIGHWAY NO 21-A BEING SOUTH 0°42'00" WEST 449.5 FEET AS MEASURED ALONG SAID MARGIN FROM THE NORTH LINE OF SAID SOUTHWEST QUARTER OF THE NORTHEAST QUARTER; THENCE SOUTHERLY ALONG THE WEST MARGIN OF SAID HIGHWAY 40 FEET; THENCE NORTH 89°07'38" WEST 148.24 FEET; THENCE NORTH 1°28'10" WEST 40 FEET; THENCE EASTERLY 148.24 FEET TO POINT OF BEGINNING.

232601-1-093-2004 (0.51-ACRES)

THAT PORTION OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER, SECTION 23, TOWNSHIP 26 NORTH, RANGE 1 EAST, W.M., IN KITSAP COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTH QUARTER CORNER IN SECTION 23, TOWNSHIP 26 NORTH, RANGE 1 EAST, W.M., IN KITSAP COUNTY, WASHINGTON, THENCE SOUTH 1°28'10" WEST 1945.33 FEET; THENCE SOUTH 88°57'12" EAST 204.50 FEET; THENCE NORTH 1°28'10" EAST 149.51 FEET TO POINT OF BEGINNING; THENCE SOUTH 1°28'10" WEST 149.50 FEET, MORE OR LESS; TO THE NORTHERLY MARGIN OF HARRISON STREET; THENCE EASTERLY ALONG THE NORTHERLY MARGIN OF HARRISON STREET, 150.86 FEET, MORE OR LESS; TO THE WESTERLY MARGIN OF STATE HIGHWAY 21A; THENCE NORTH 0°42' EAST 149.93 FEET TO A POINT WHICH IS SOUTH 89°07'38" EAST FROM THE TRUE POINT OF BEGINNING; THENCE NORTH 89°07'38" WEST TO THE TRUE POINT OF BEGINNING; EXCEPT STREET; EXCEPT PORTION, IF ANY, IN DEED RECORDED UNDER AUDITOR'S FILE NO. 700018 TO G.R. PARFITT AND MARIE L. PARFITT, HIS WIFE; AND EXCEPT ANY PORTION CONVEYED TO TOWN OF POULSBO IN DEED RECORDED UNDER AUDITOR'S FILE NOS. 782304 AND 790262.

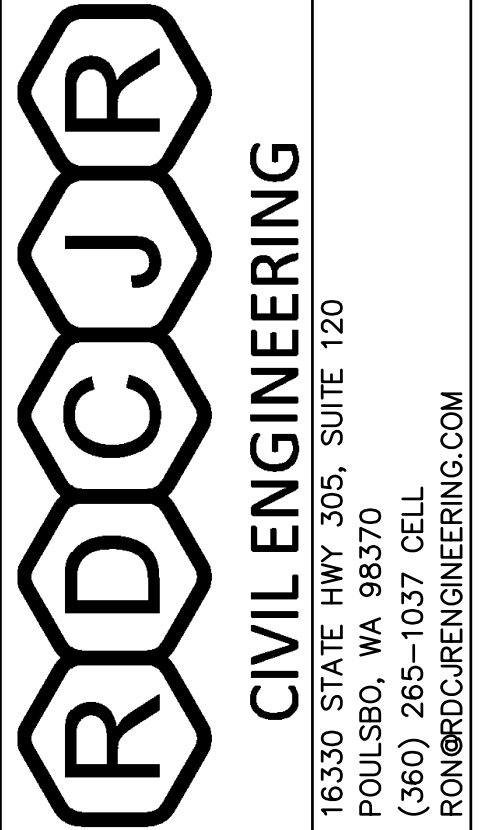
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DRAWN	RDC
CHECKED	RDC
MANAGER	RDC
DATE	9/22/2021
SCALE	AS NOTED

REVISION BLOCK:	DESCRIPTION:	DATE:
# 1	REVISED PER CITY COMMENTS, DATED 6/20/24	RDC 8/20/2024

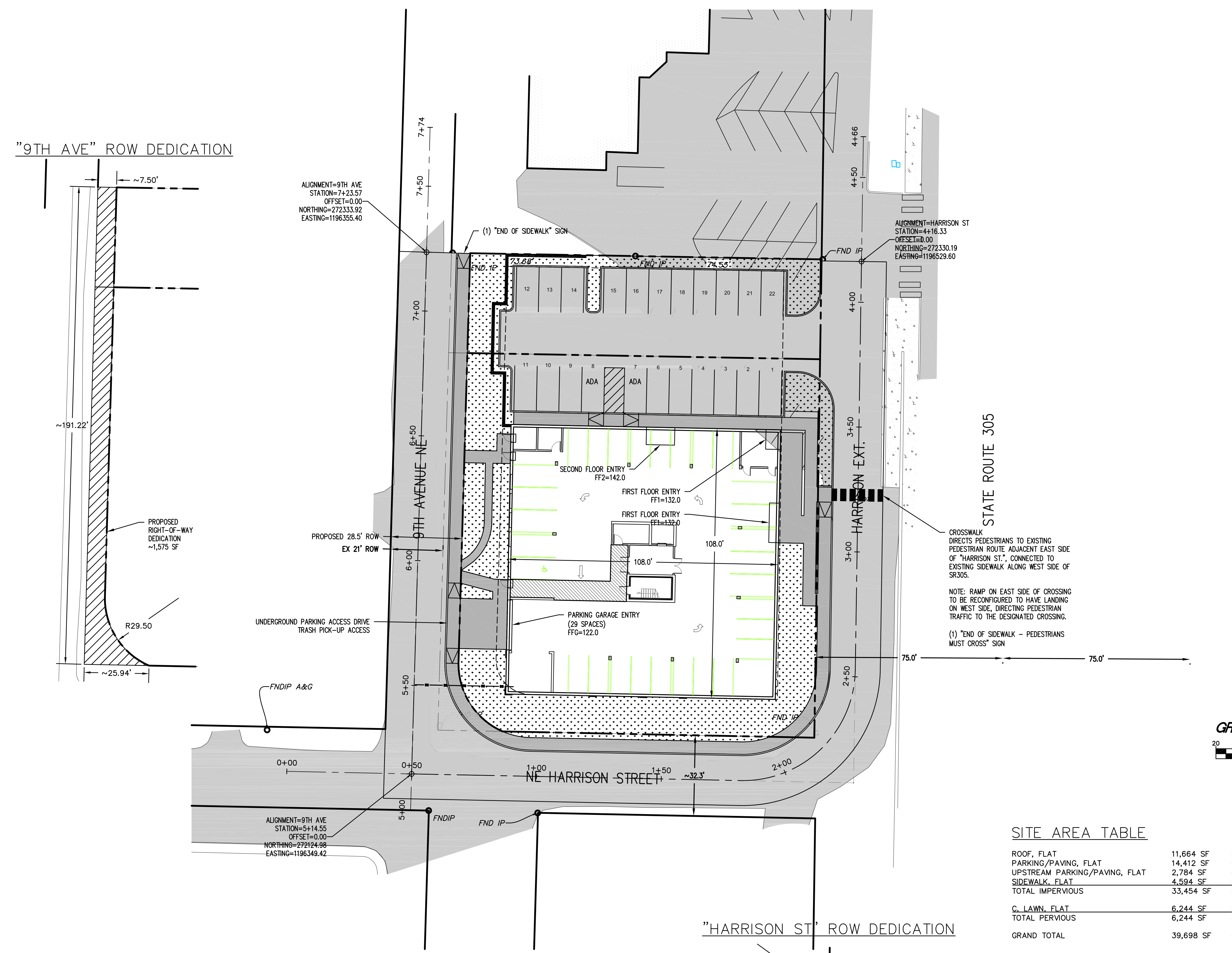


PROJECT: AKTIV – SPR
SITE PLAN

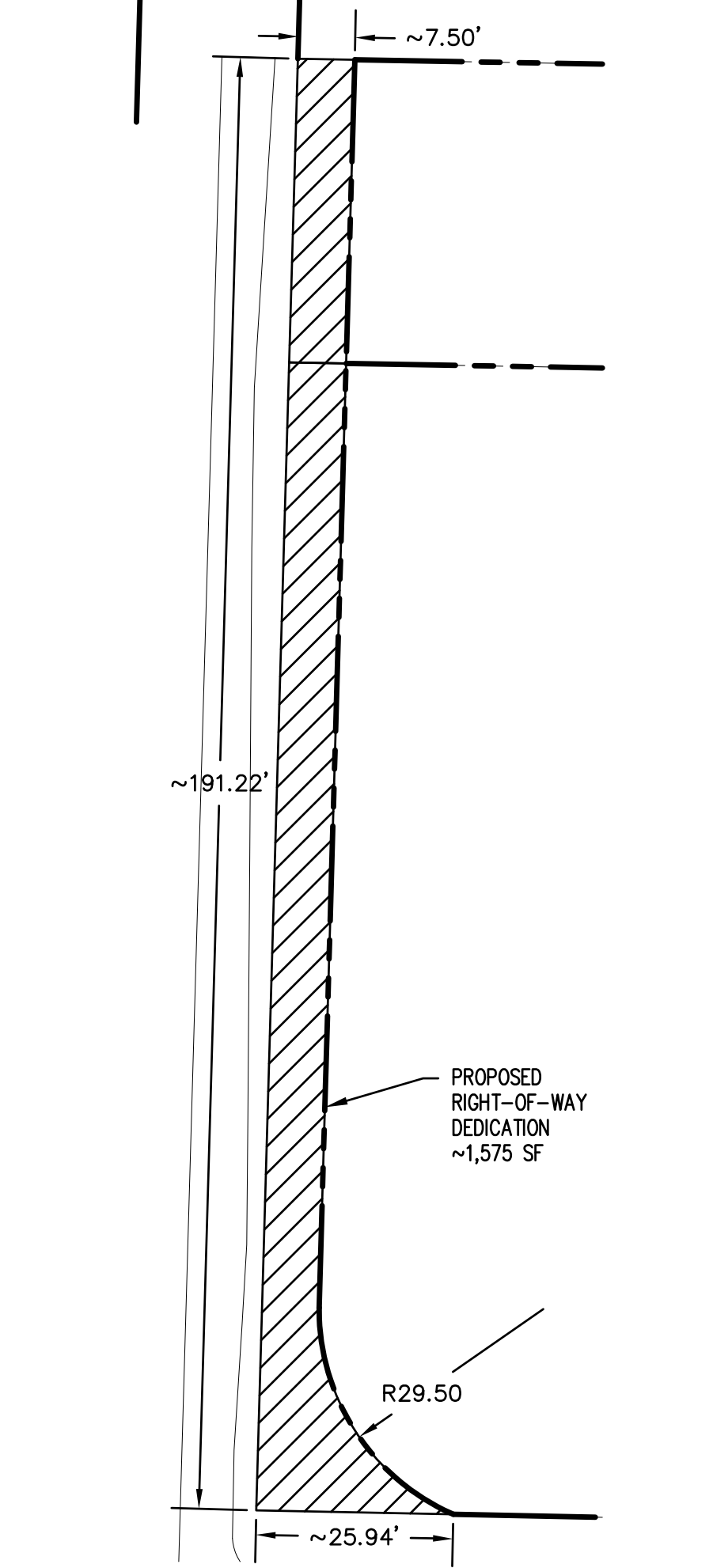
CLIENT: CHINOOK PROPERTIES, INC.
KELLY CLARK
10661 OLD FRONTIER ROAD NW
SILVERDALE, WA 98383
(360) 613-4098
KELLY@CHINOOKTRACTORS.COM



SHEET 1 OF 10
JOB # 005

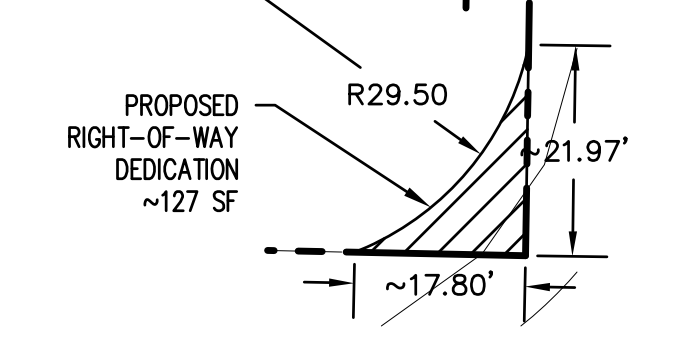


"9TH AVE" ROW DEDICATION



- NOTES:**
- BOUNDARY PROVIDED BY AES CONSULTANTS INC.
 - ONSITE TOPOGRAPHIC MAPPING BY AES CONSULTANTS INC. (NAVD 88)
 - HORIZONTAL DATUM IS NAD 83 (WA83-NF).

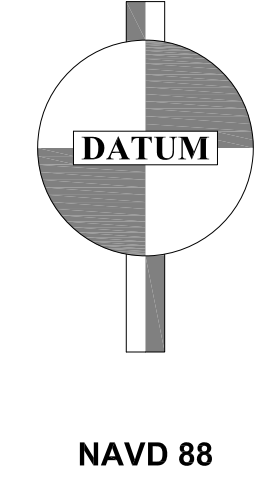
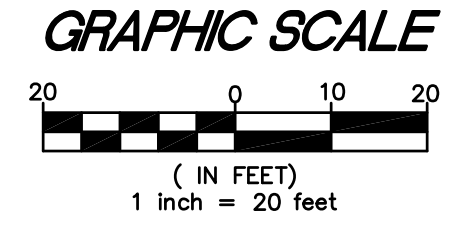
"HARRISON ST" ROW DEDICATION



SITE AREA TABLE

ROOF, FLAT	11,664 SF	(0.27 AC)
PARKING/PAVING, FLAT	14,412 SF	(0.33 AC)
UPSTREAM PARKING/PAVING, FLAT	2,784 SF	(0.07 AC)
SIDEWALK, FLAT	4,594 SF	(0.11 AC)
TOTAL IMPERVIOUS	33,454 SF	(0.76 AC)
C. LAWN, FLAT	6,244 SF	(0.15 AC)
TOTAL PERVIOUS	6,244 SF	(0.15 AC)
GRAND TOTAL	39,698 SF	(0.91 AC)

Sheet List Table	
Sheet Number	Sheet Title
1	SITE PLAN
2	EXISTING CONDITIONS MAP
3	ROAD SECTIONS
4	COMPOSITE GRADING PLAN
5	COMPOSITE UTILITY PLAN
6	9TH AVE – PLAN & PROFILE
7	HARRISON ST – PLAN & PROFILE
8	STORM DETAILS (1 OF 2)
9	STORM DETAILS (2 OF 2)

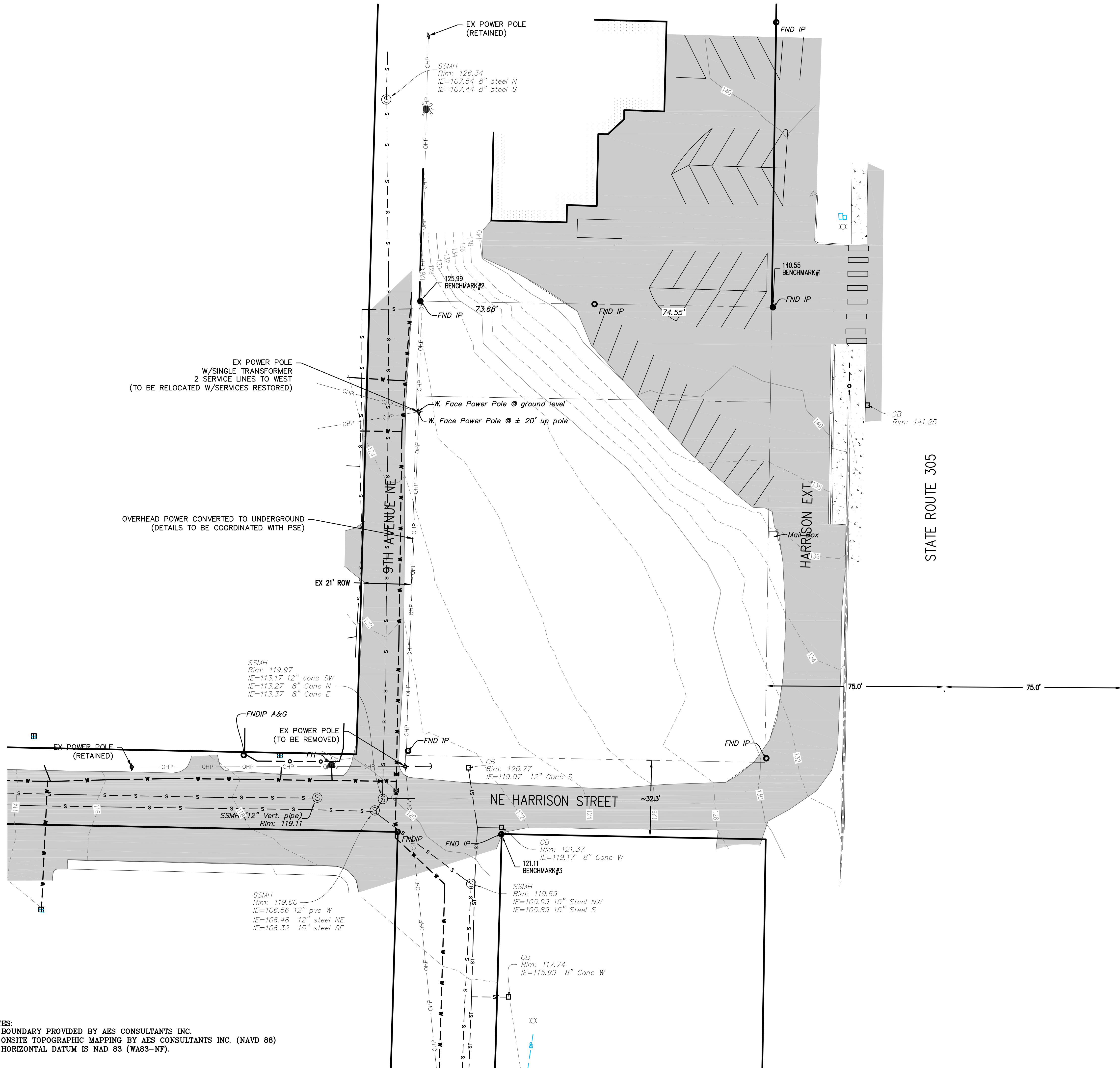


CROSSWALK DIRECTS PEDESTRIANS TO EXISTING PEDESTRIAN ROUTE ADJACENT EAST SIDE OF "HARRISON ST.", CONNECTED TO EXISTING SIDEWALK ALONG WEST SIDE OF SR305.

NOTE: RAMP ON EAST SIDE OF CROSSING TO BE RECONFIGURED TO HAVE LANDING ON WEST SIDE, DIRECTING PEDESTRIAN TRAFFIC TO THE DESIGNATED CROSSING.

(1) "END OF SIDEWALK - PEDESTRIANS MUST CROSS" SIGN

AKTIV – SPR
EXISTING CONDITIONS MAP



EX POWER POLE
W/SINGLE TRANSFORMER
2 SERVICE LINES TO WEST
(TO BE RELOCATED W/SERVICES RESTORED)

W. Face Power Pole @ ground level
W. Face Power Pole @ ± 20' up pole

OVERHEAD POWER CONVERTED TO UNDERGROUND
(DETAILS TO BE COORDINATED WITH PSE)

SSMH
Rim: 119.97
IE=113.17 12" conc SW
IE=113.27 8" Conc N
IE=113.37 8" Conc E

FNDIP A&G
EX POWER POLE
(TO BE REMOVED)

SSMH
Rim: 119.60
IE=106.56 12" pvc W
IE=106.48 12" steel NE
IE=106.32 15" steel SE

CB
Rim: 120.77
IE=119.07 12" Conc S

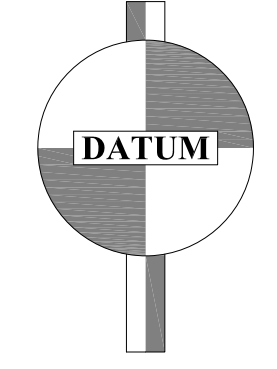
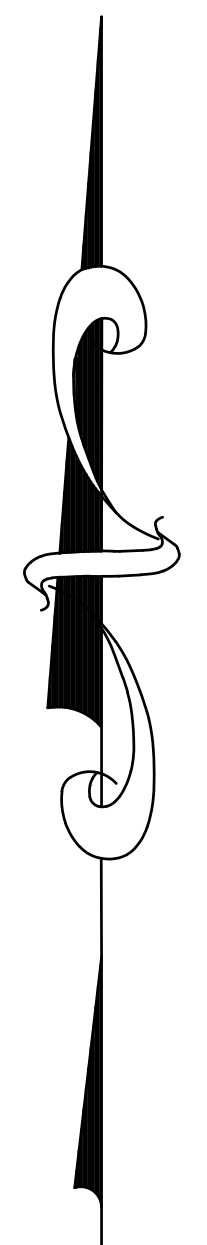
CB
Rim: 121.37
IE=119.17 8" Conc W

SSMH
Rim: 119.69
IE=105.99 15" Steel NW
IE=105.89 15" Steel S

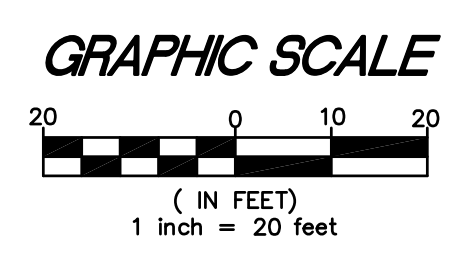
CB
Rim: 117.74
IE=115.99 8" Conc W

HARRISON EXT.

STATE ROUTE 305

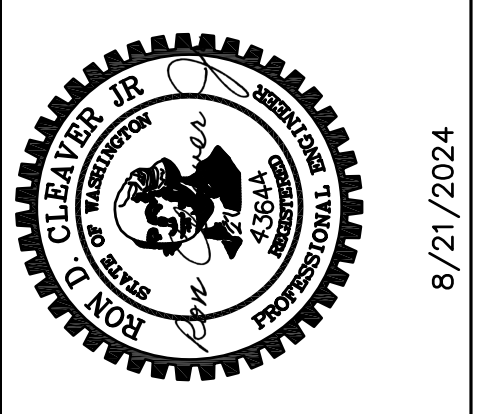


NAVD 88



DESIGN	RDC
DRAWN	RDC
CHECKED	RDC
MANAGER	RDC
DATE	9/22/2021
SCALE	AS NOTED

REVISION BLOCK:	DESCRIPTION:	BY:	DATE:
# 1	REVISED PER CITY COMMENTS, DATED 6/20/24	RDC	8/20/2024



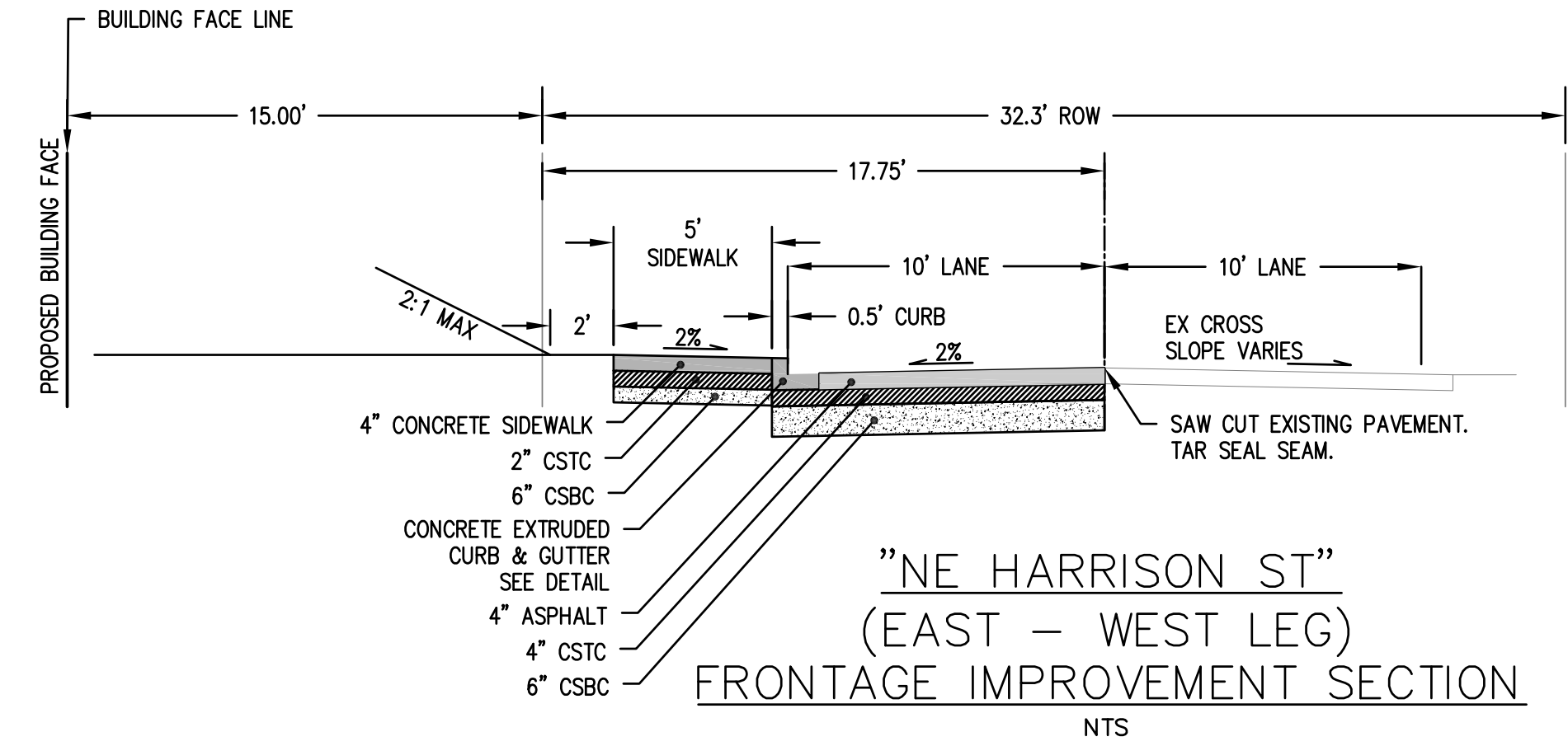
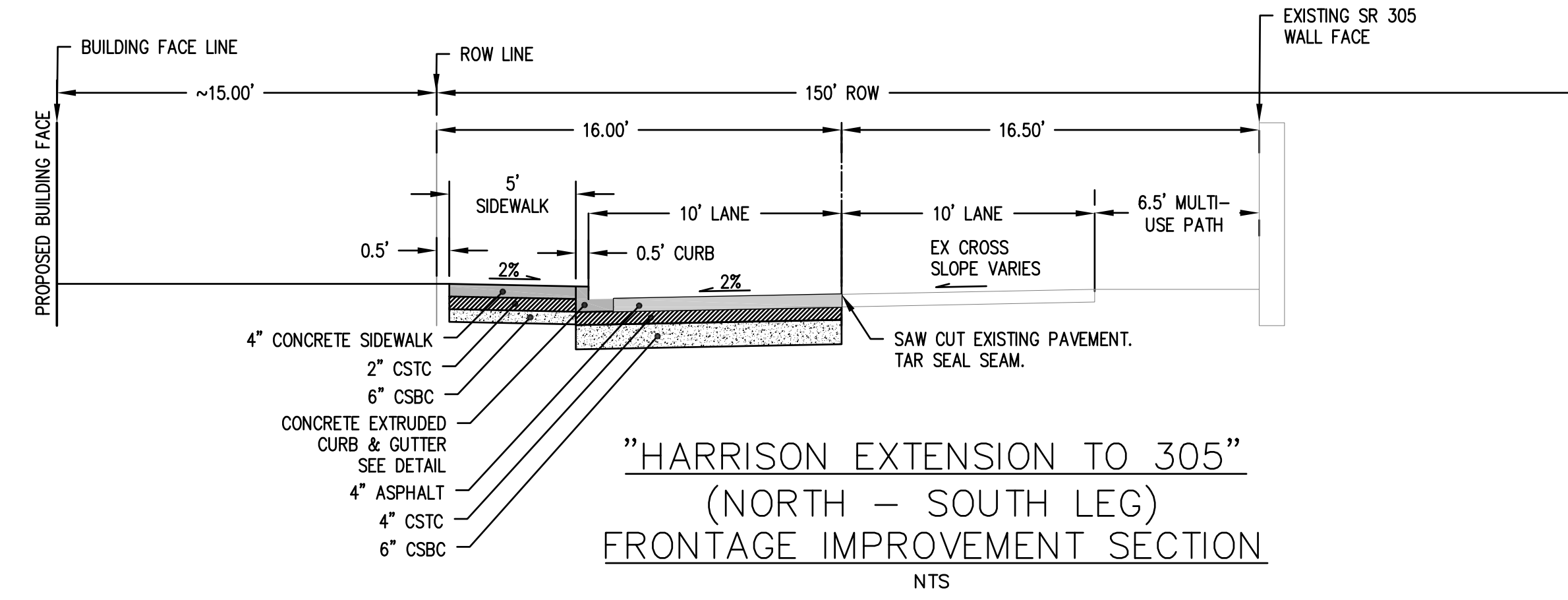
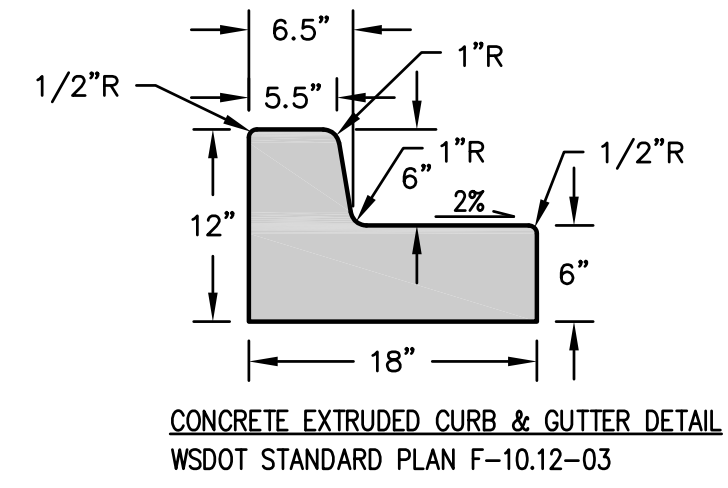
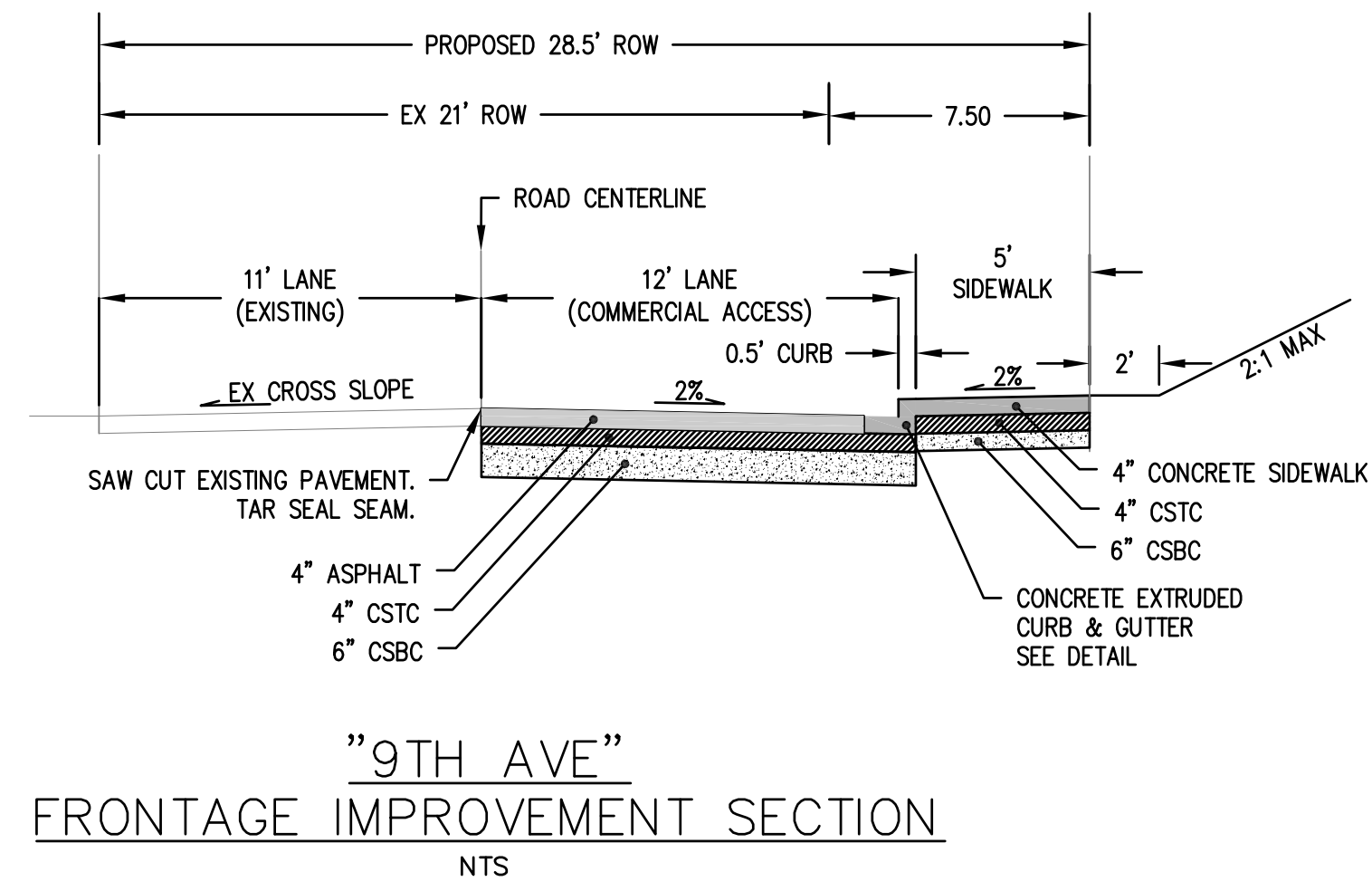
PROJECT: AKTIV – SPR
EXISTING CONDITIONS MAP

CLIENT:
CHINOOK PROPERTIES, INC.
KELLY CLARK
10861 OLD FRONTIER ROAD NW
SILVERDALE, WA 98383
(360) 613-4098
KELLY@CHINOOKCONTRACTORS.COM

CIVIL ENGINEERING
16330 STATE HWY 305, SUITE 120
POULSBO, WA 98370
(360) 265-1037 CELL
RDC@RDCENGINEERING.COM

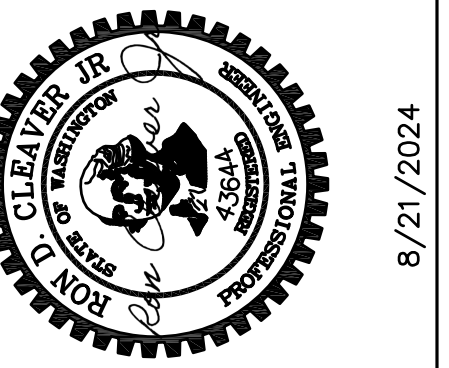
- NOTES:
- BOUNDARY PROVIDED BY AES CONSULTANTS INC.
 - ONSITE TOPOGRAPHIC MAPPING BY AES CONSULTANTS INC. (NAVD 88)
 - HORIZONTAL DATUM IS NAD 83 (WA83-NF).

AKTIV – SPR
ROAD SECTIONS



DESIGN	RDC
DRAWN	RDC
CHECKED	RDC
MANAGER	RDC
DATE	9/22/2021
SCALE	AS NOTED

BY:	DATE:
RDC	8/20/2024
REVISION BLOCK:	
#	DESCRIPTION:
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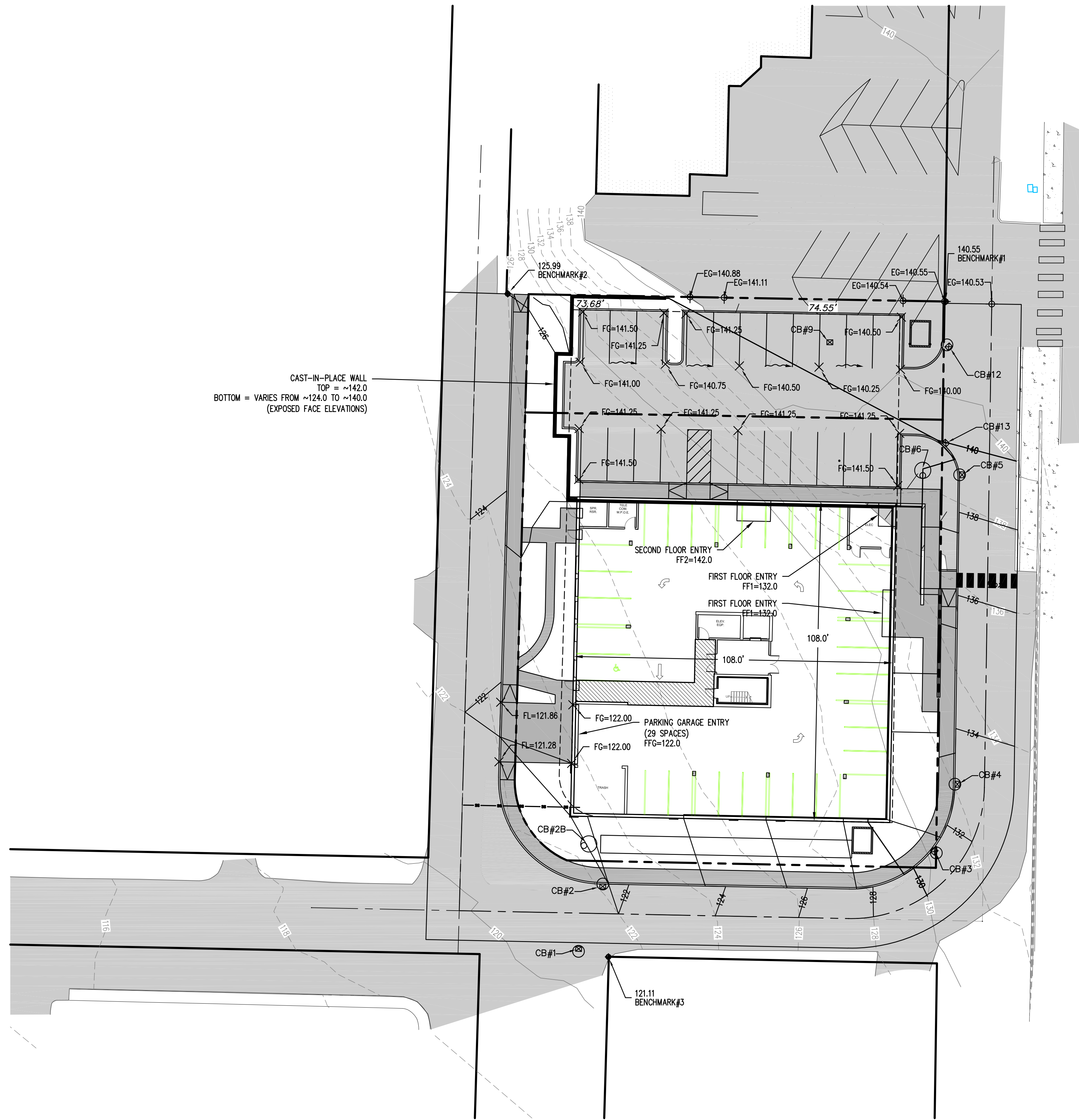


PROJECT: AKTIV – SPR
ROAD SECTIONS

CLIENT: CHINOOK PROPERTIES, INC.
KELLY CLARK
10861 OLD FRONTIER ROAD NW
SILVERDALE, WA 98383
(360) 613-4098
KELLY@CHINOOKCONTRACTORS.COM



AKTIV – SPR
COMPOSITE GRADING PLAN



CAST-IN-PLACE WALL
TOP = ~142.0
BOTTOM = VARIES FROM ~124.0 TO ~140.0
(EXPOSED FACE ELEVATIONS)

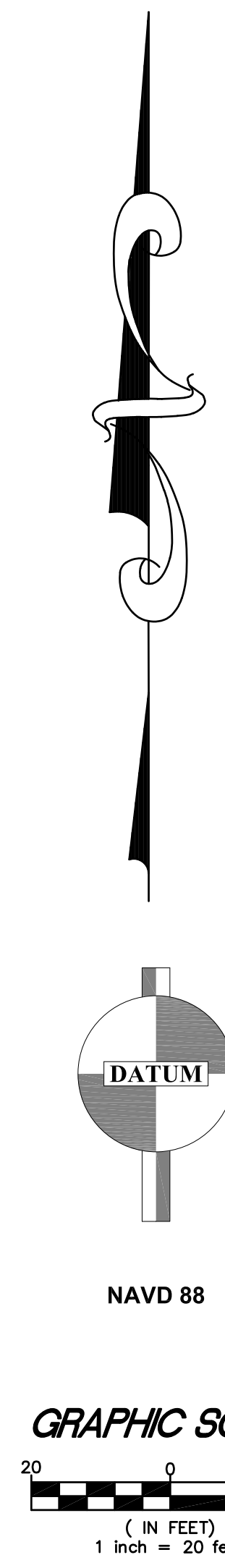
BENCHMARKS

BENCHMARK #1	FOUND IRON PIPE	ELEV=140.55
BENCHMARK #2	FOUND IRON PIPE	ELEV=125.99
BENCHMARK #3	FOUND IRON PIPE	ELEV=121.11

GRADING VOLUMES

1,914 CY CUT
1,852 CY FILL
62 CY EXPORT

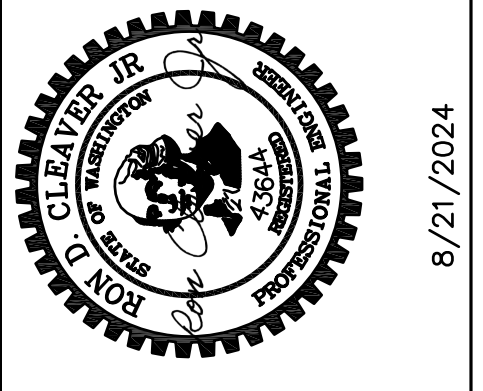
- NOTES:
- * QUANTITIES ARE NEAT LINE, WITH NO SHRINK OR SWELL FACTORS INCLUDED.
 - * EXPORTED MATERIAL MUST GO TO A PERMITTED RECEIVING SITE.
 - * DOES NOT ACCOUNT FOR REMOVAL/REPLACEMENT OF UNSUITABLE MATERIAL, IF ANY.
 - * DOES NOT ACCOUNT FOR UNDERGROUND STORM DETENTION SYSTEM VOLUME.



- NOTES:
- BOUNDARY PROVIDED BY AES CONSULTANTS INC.
 - ONSITE TOPOGRAPHIC MAPPING BY AES CONSULTANTS INC. (NAVD 88)
 - HORIZONTAL DATUM IS NAD 83 (WA83-NF).

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SCALE	AS NOTED

REVISION BLOCK:	DATE:
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DESCRIPTION:	
1 REVISED PER CITY COMMENTS, DATED 6/20/24	

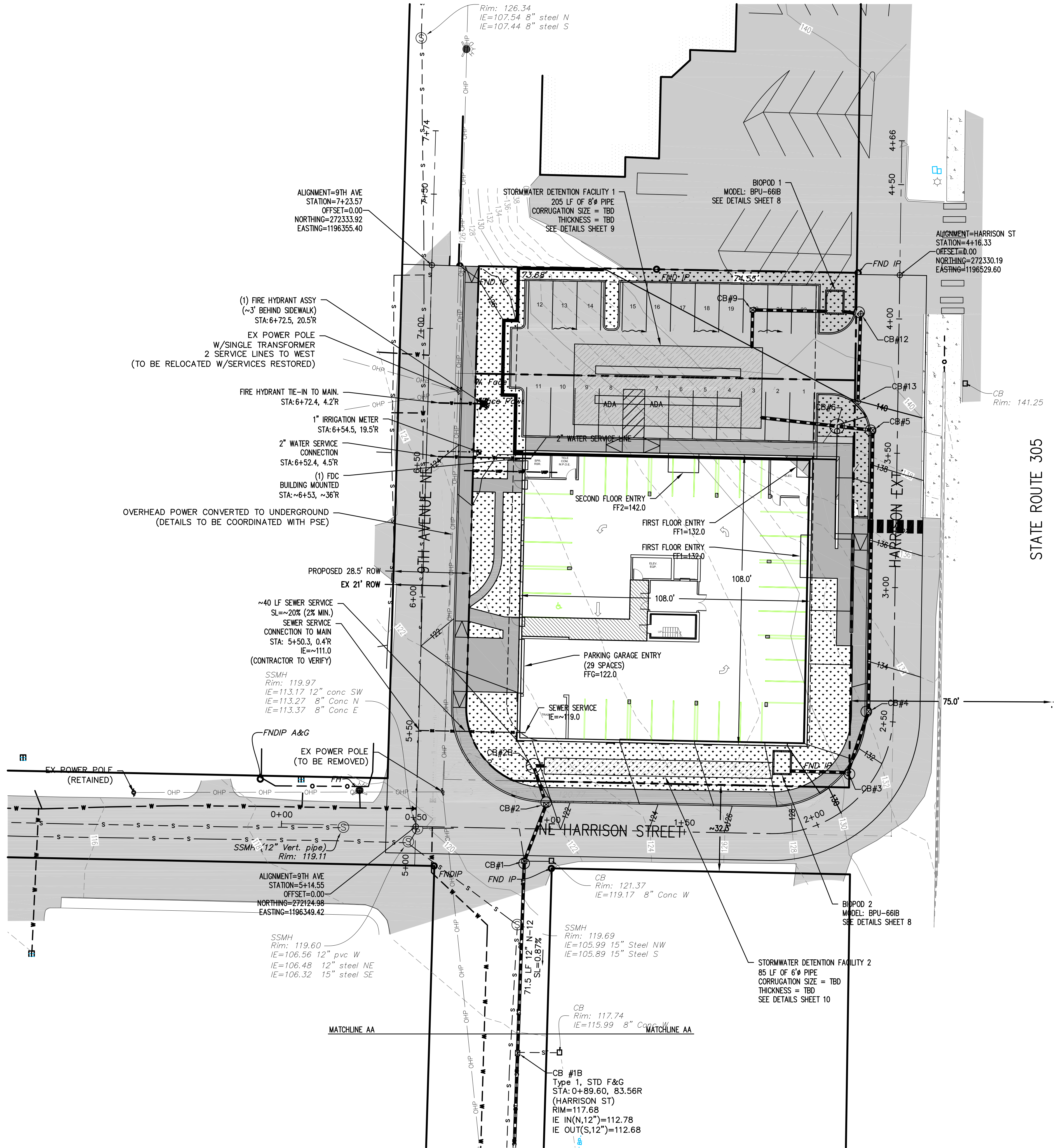
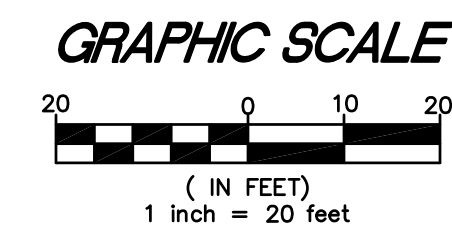
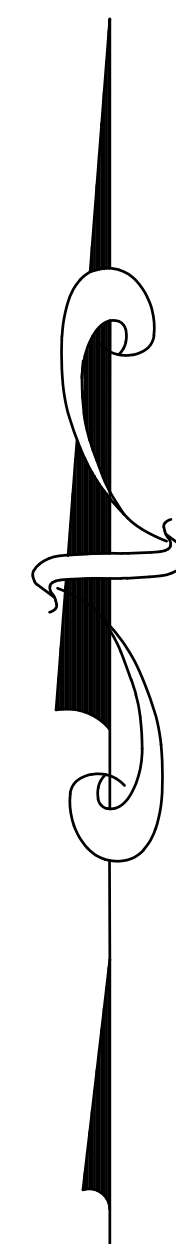


PROJECT: AKTIV – SPR
COMPOSITE GRADING PLAN

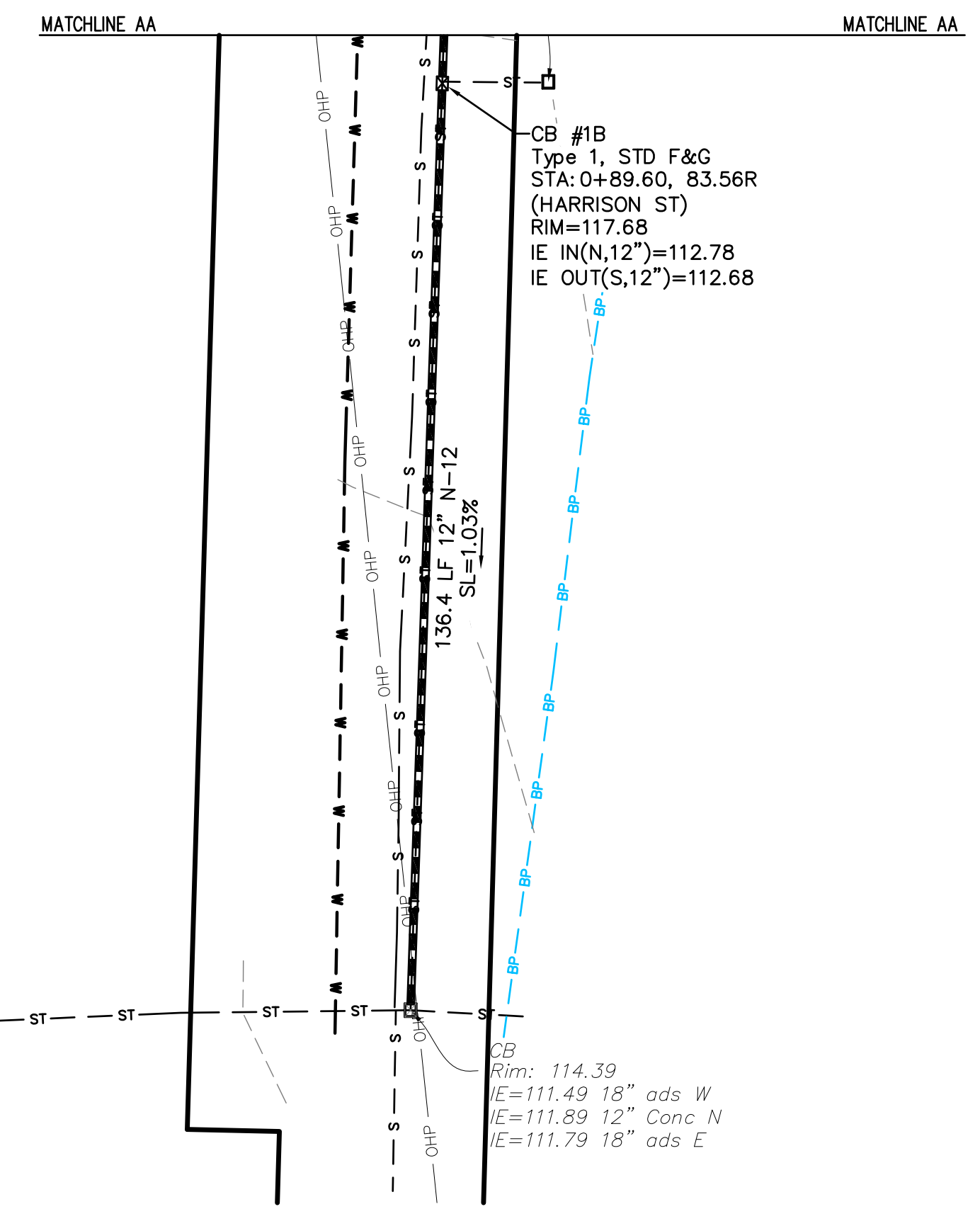
CLIENT: CHINOOK PROPERTIES, INC.
KELLY CLARK
10861 OLD FRONTIER ROAD NW
SILVERDALE, WA 98383
(360) 613-4098
KELLY@CHINOOKTRACTORS.COM

RDCJR
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16330 STATE HWY 305, SUITE 120
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(360) 265-1037 CELL
RON@RDCJRENGINEERING.COM

AKTIV - SPR
COMPOSITE UTILITY PLAN

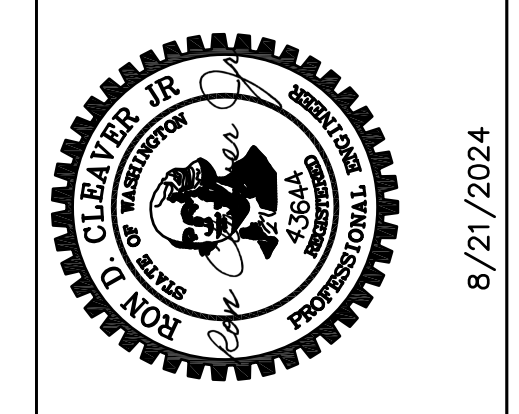


- ALIGNMENT=9TH AVE
STATION=7+23.57
OFFSET=0.00
NORTHING=272333.92
EASTING=1196355.40
- (1) FIRE HYDRANT ASSY
(~3' BEHIND SIDEWALK)
STA:6+72.5, 20.5'R
- EX POWER POLE
W/SINGLE TRANSFORMER
2 SERVICE LINES TO WEST
(TO BE RELOCATED W/SERVICES RESTORED)
- FIRE HYDRANT TIE-IN TO MAIN
STA:6+72.4, 4.2'R
- 1" IRRIGATION METER
STA:6+54.5, 19.5'R
- 2" WATER SERVICE
CONNECTION
STA:6+52.4, 4.5'R
- (1) FDC
BUILDING MOUNTED
STA:~6+53, ~36'R
- OVERHEAD POWER CONVERTED TO UNDERGROUND
(DETAILS TO BE COORDINATED WITH PSE)
- PROPOSED 28.5' ROW
EX 21' ROW
- ~40 LF SEWER SERVICE
SL=~20% (2% MIN.)
SEWER SERVICE
CONNECTION TO MAIN
STA: 5+50.3, 0.4'R
IE=~111.0
(CONTRACTOR TO VERIFY)
- SSMH
Rim: 119.97
IE=113.17 12" conc SW
IE=113.27 8" Conc N
IE=113.37 8" Conc E
- FNDIP A&G
EX POWER POLE
(TO BE REMOVED)
- EX POWER POLE
(RETAINED)
- SSMH
12" Vert. pipe
Rim: 119.11
- ALIGNMENT=9TH AVE
STATION=5+14.55
OFFSET=0.00
NORTHING=272124.98
EASTING=1196349.42
- SSMH
Rim: 119.60
IE=106.56 12" pvc W
IE=106.48 12" steel NE
IE=106.32 15" steel SE
- ALIGNMENT=HARRISON ST
STATION=4+16.33
OFFSET=0.00
NORTHING=272330.19
EASTING=1196529.60
- CB Rim: 141.25
- SSMH
Rim: 121.37
IE=119.17 8" Conc W
- SSMH
Rim: 119.69
IE=105.99 15" Steel NW
IE=105.89 15" Steel S
- SSMH
Rim: 117.74
IE=115.99 8" Conc W
- CB #1B
Type 1, STD F&G
STA:0+89.60, 83.56R
(HARRISON ST)
RIM=117.68
IE IN(N,12")=112.78
IE OUT(S,12")=112.68
- STORMWATER DETENTION FACILITY 1
205 LF OF 8" PIPE
CORRUGATION SIZE = TBD
THICKNESS = TBD
SEE DETAILS SHEET 9
- BIOPOD 1
MODEL: BPU-66IB
SEE DETAILS SHEET 8
- STORMWATER DETENTION FACILITY 2
85 LF OF 6" PIPE
CORRUGATION SIZE = TBD
THICKNESS = TBD
SEE DETAILS SHEET 10
- BIOPOD 2
MODEL: BPU-66IB
SEE DETAILS SHEET 8



DESIGN	RDC
DRAWN	RDC
CHECKED	RDC
MANAGER	RDC
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SCALE	AS NOTED

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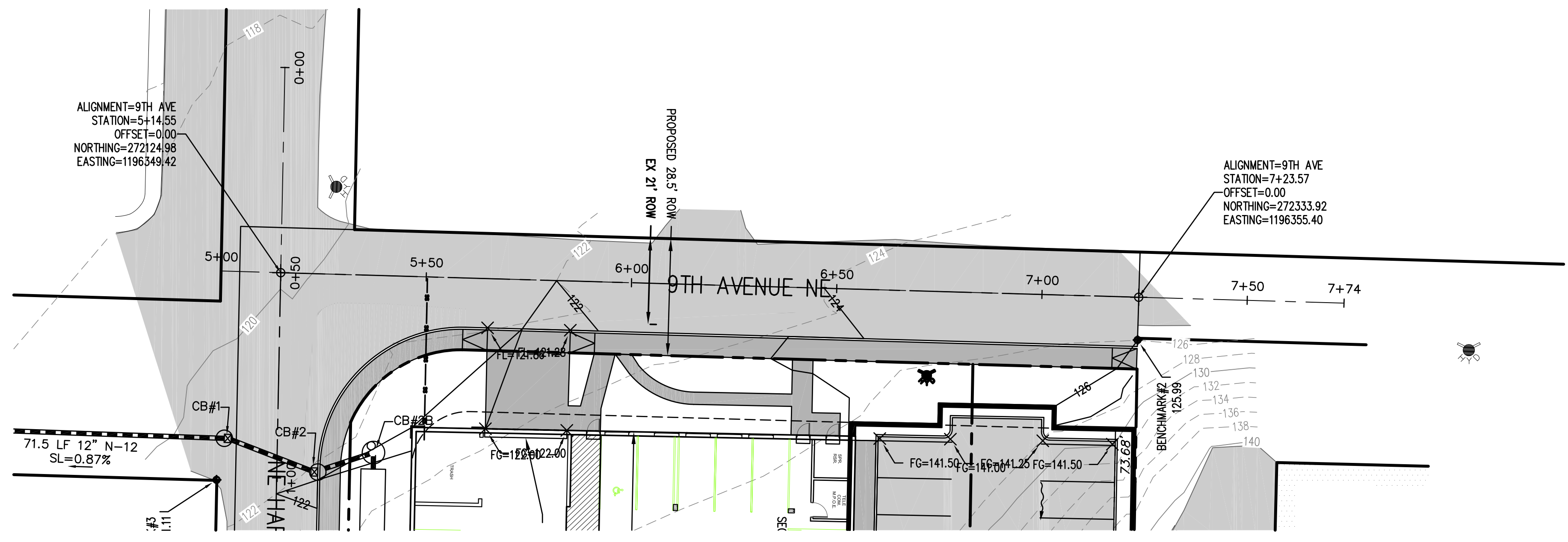
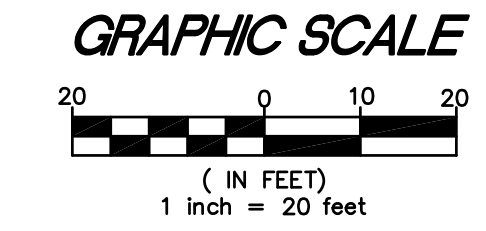
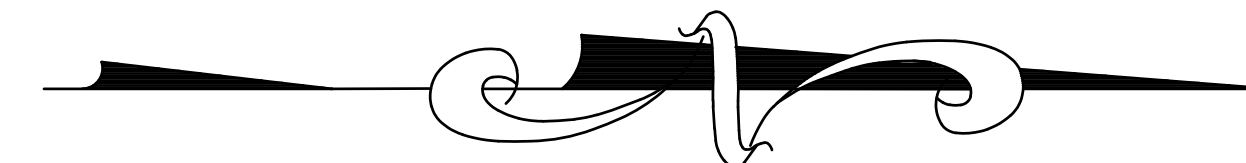


PROJECT: AKTIV - SPR
COMPOSITE UTILITY PLAN

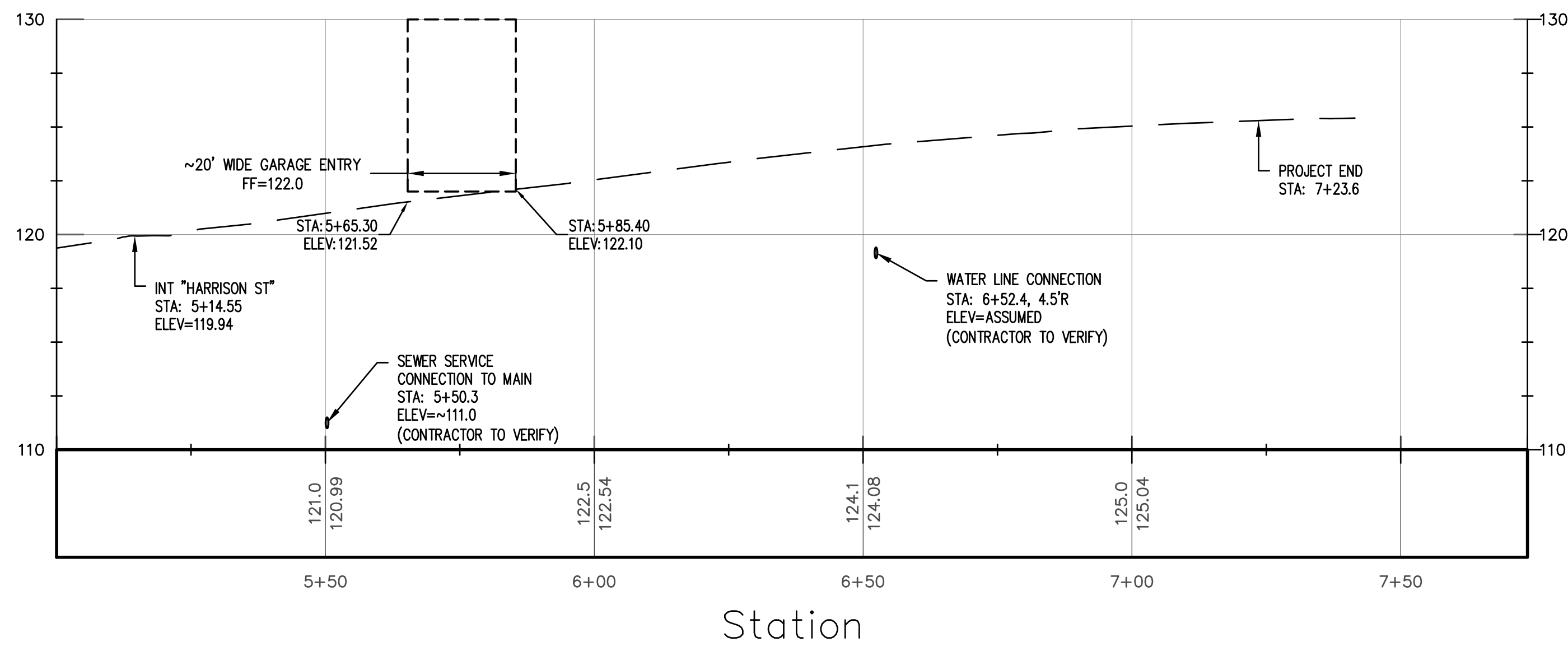
CLIENT: CHINOOK PROPERTIES, INC.
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(360) 265-1037 CELL
RDC@RDCENGINEERING.COM

AKTIV – SPR
9TH AVE – PLAN & PROFILE

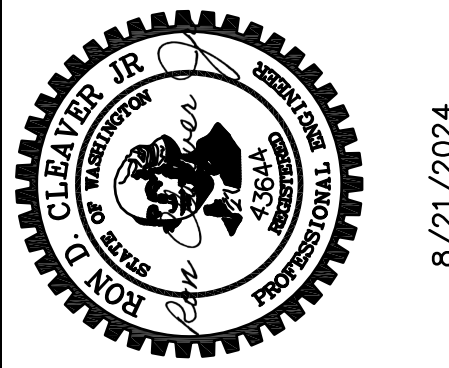


9TH AVE
HORIZONTAL SCALE 1" = 20'
VERTICAL SCALE 1" = 5'



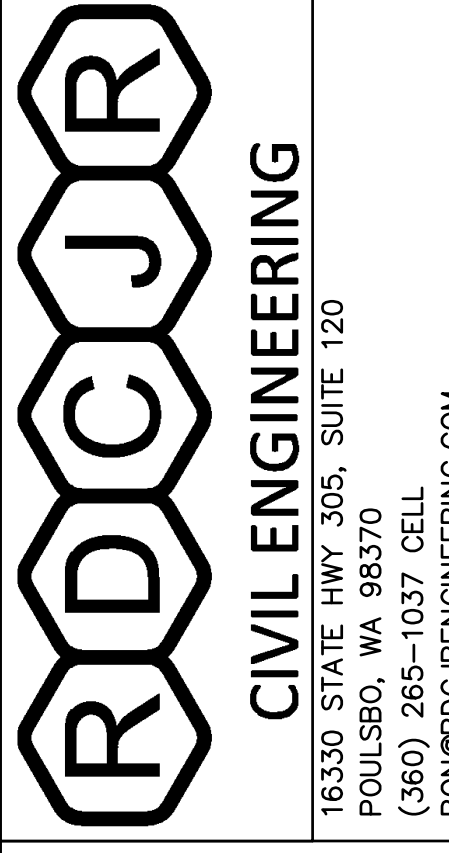
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CHECKED	RDC
MANAGER	RDC
DATE	9/22/2021
SCALE	AS NOTED

REVISION BLOCK:	#	DESCRIPTION:	DATE:	BY:
1	REVISED PER CITY COMMENTS, DATED 6/20/24		8/20/2024	RDC



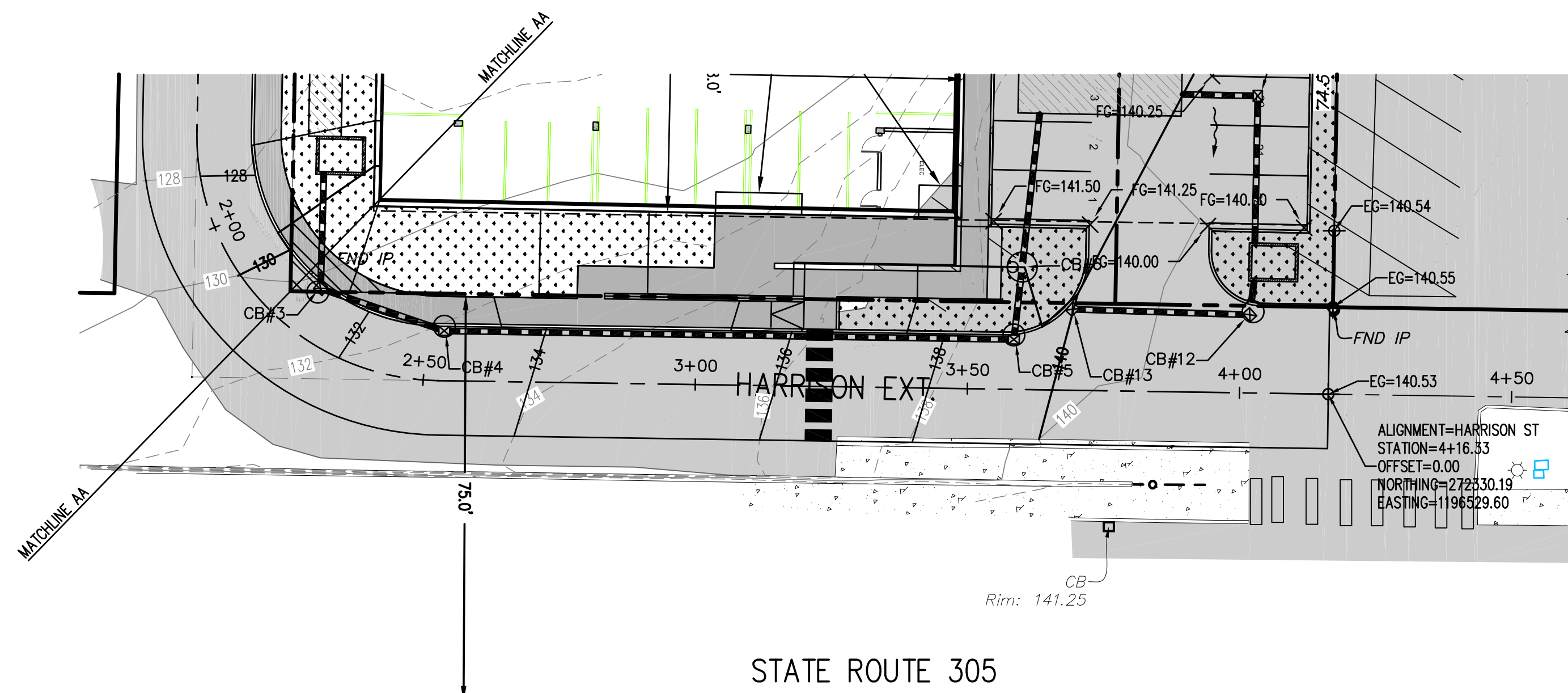
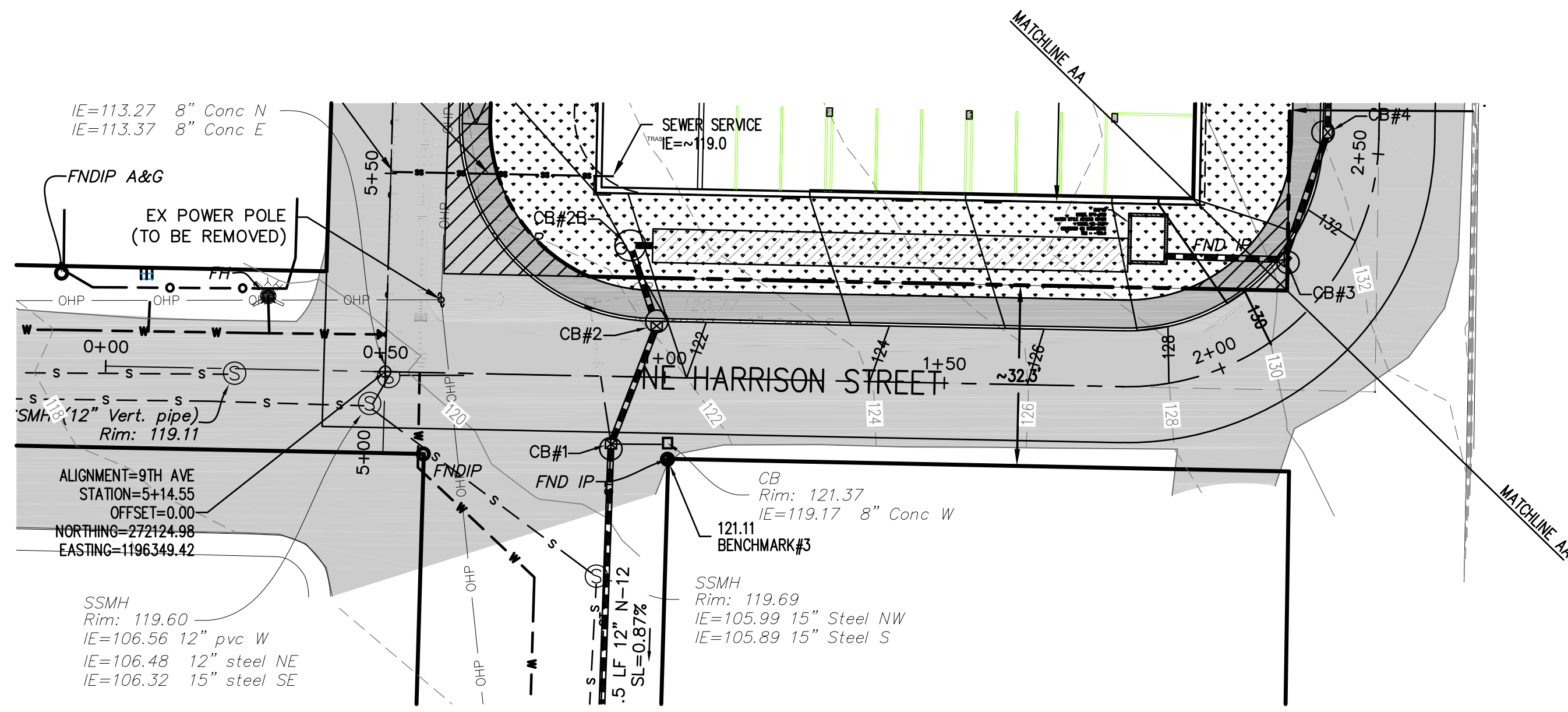
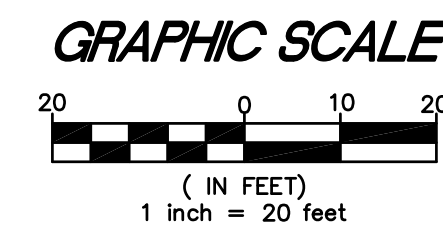
PROJECT: AKTIV – SPR
9TH AVE – PLAN & PROFILE

CLIENT: CHINOOK PROPERTIES, INC.
KELLY CLARK
10861 OLD FRONTIER ROAD NW
SILVERDALE, WA 98383
(360) 613-4088
KELLY@CHINOOKCONTRACTORS.COM

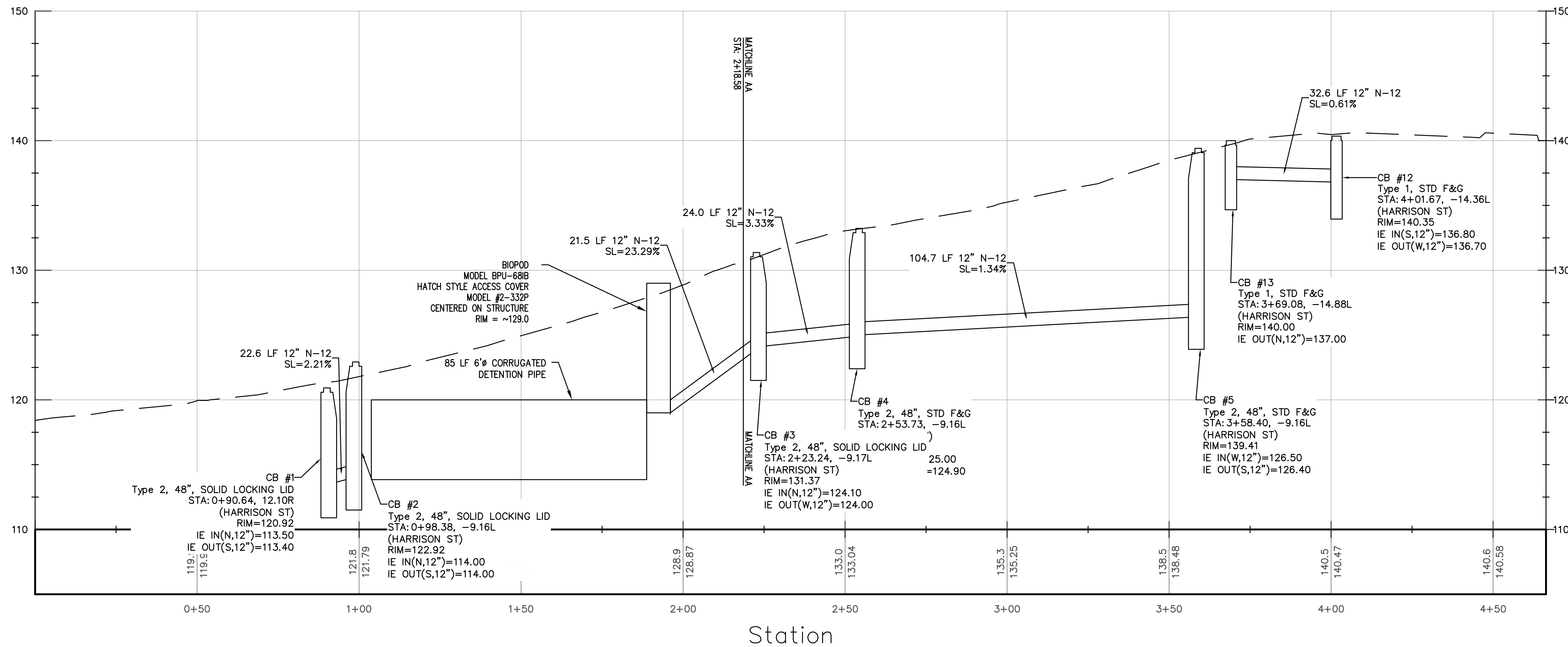


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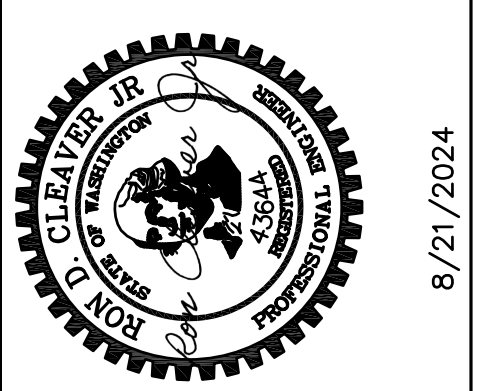
AKTIV - SPR
HARRISON ST - PLAN & PROFILE



HARRISON ST
HORIZONTAL SCALE 1" = 20'
VERTICAL SCALE 1" = 5'

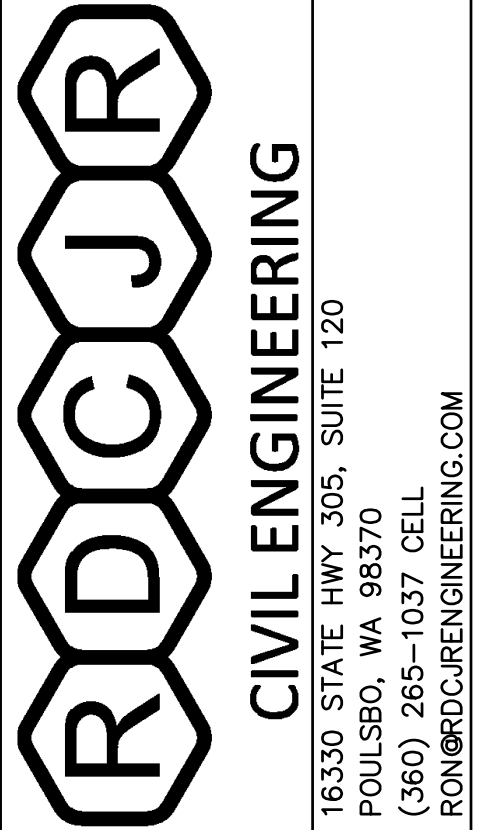


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CHECKED	RDC
MANAGER	RDC
DATE	9/22/2021
SCALE	AS NOTED

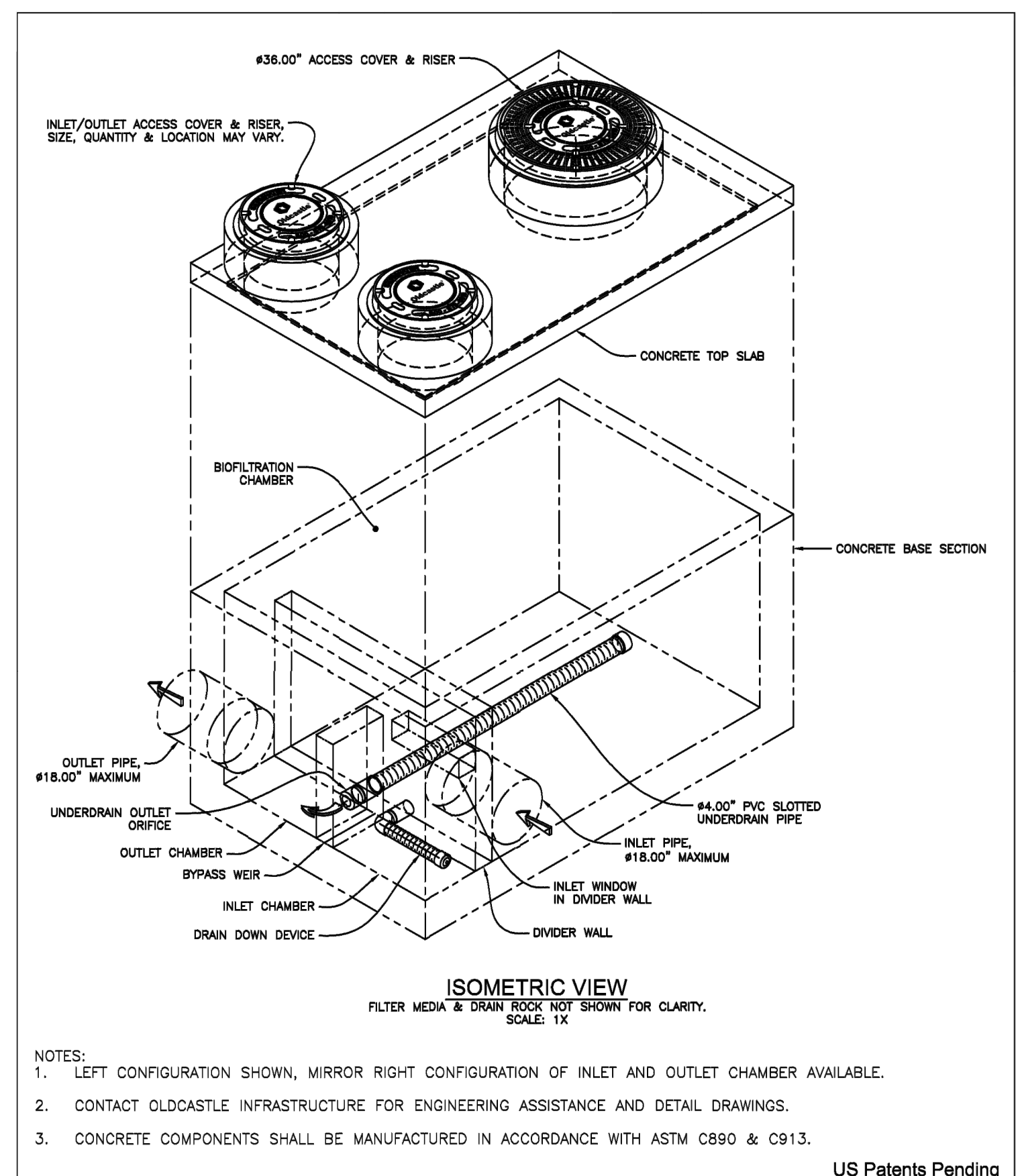


PROJECT: AKTIV - SPR
HARRISON ST - PLAN & PROFILE

CLIENT: CHINOOK PROPERTIES, INC.
KELLY CLARK
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SILVERDALE, WA 98383
(360) 613-4098
KELLY@CHINOOKTRACTORS.COM



AKTIV – SPR
STORM DETAILS (1 OF 3)



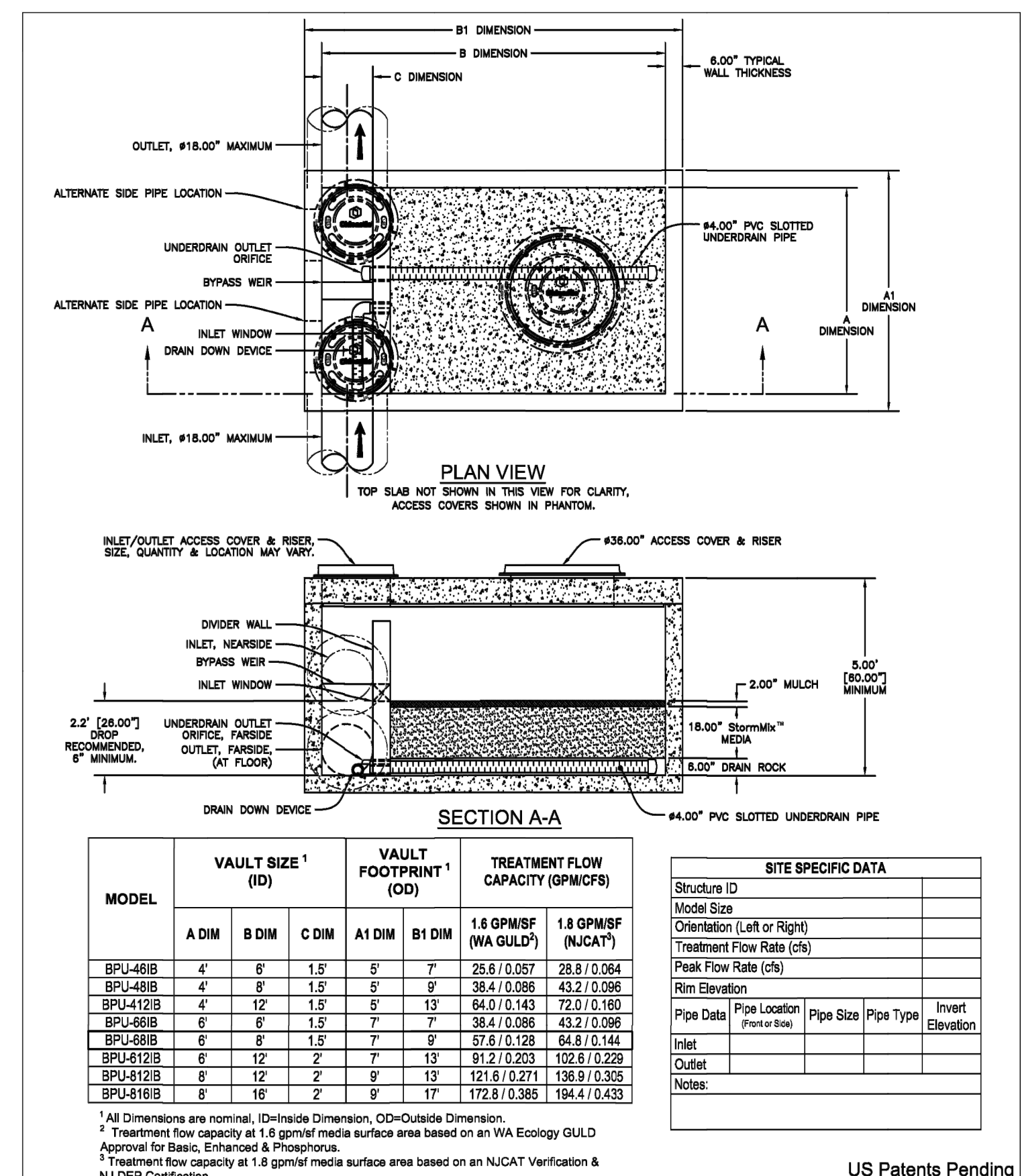
BioPod™ Biofilter
Underground
Vault with Internal Bypass

US Patents Pending

Oldcastle Infrastructure™
A CMI COMPANY

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DRAWING NO. BPU-IB C EDD-0169 DRE CJS 3/9/20 SHEET 1 OF 2



MODEL	VAULT SIZE ¹ (ID)			VAULT FOOTPRINT ¹ (OD)		TREATMENT FLOW CAPACITY (GPM/CF5)	
	A DIM	B DIM	C DIM	A1 DIM	B1 DIM	1.6 GPM/5F (WA GULF) ²	1.8 GPM/5F (NUCAT) ³
BPU-46IB	4'	6'	1.5'	5'	7'	25.6 / 0.557	28.8 / 0.564
BPU-48IB	4'	6'	1.5'	5'	7'	38.4 / 0.298	43.2 / 0.296
BPU-412IB	4'	12'	1.5'	5'	13'	64.0 / 0.143	72.0 / 0.160
BPU-66IB	6'	6'	1.5'	7'	7'	38.4 / 0.266	43.2 / 0.266
BPU-68IB	6'	6'	1.5'	7'	7'	57.8 / 0.128	64.8 / 0.144
BPU-612IB	6'	12'	2'	7'	13'	91.2 / 0.233	102.8 / 0.229
BPU-812IB	8'	12'	2'	9'	13'	121.6 / 0.271	136.9 / 0.305
BPU-818IB	8'	16'	2'	9'	17'	172.8 / 0.385	194.4 / 0.433

¹All Dimensions are nominal, ID=Inside Dimension, OD=Outside Dimension.
²Treatment flow capacity at 1.8 gpm/ft media surface area based on an WA Ecology GULF Approval for Basic, Enhanced & Phosphorus.
³Treatment flow capacity at 1.8 gpm/ft media surface area based on an NJCAT Verification & NJ DEP Certification.

US Patents Pending

BioPod™ Biofilter
Underground
Vault with Internal Bypass

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DRAWING NO. BPU-IB C EDD-0169 DRE CJS 3/9/20 SHEET 2 OF 2

Oldcastle Precast
AUBURN

Delivering Reliability

332P, 2-332P, & 3-332P COVERS & FRAMES

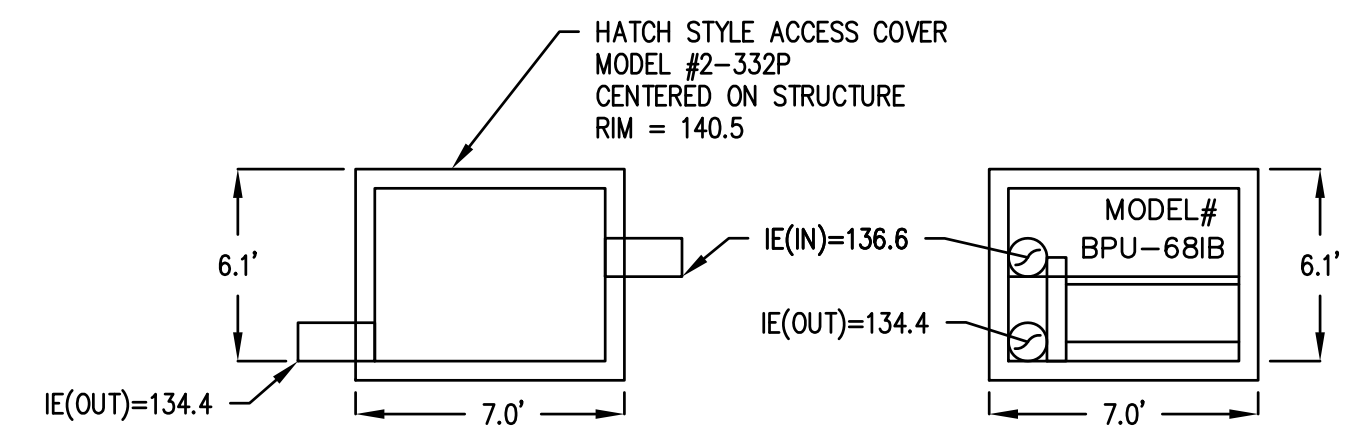
Non Skid Covers Available
Items Shown Are Subject To Change Without Notice
Issue Date: April 2016

121

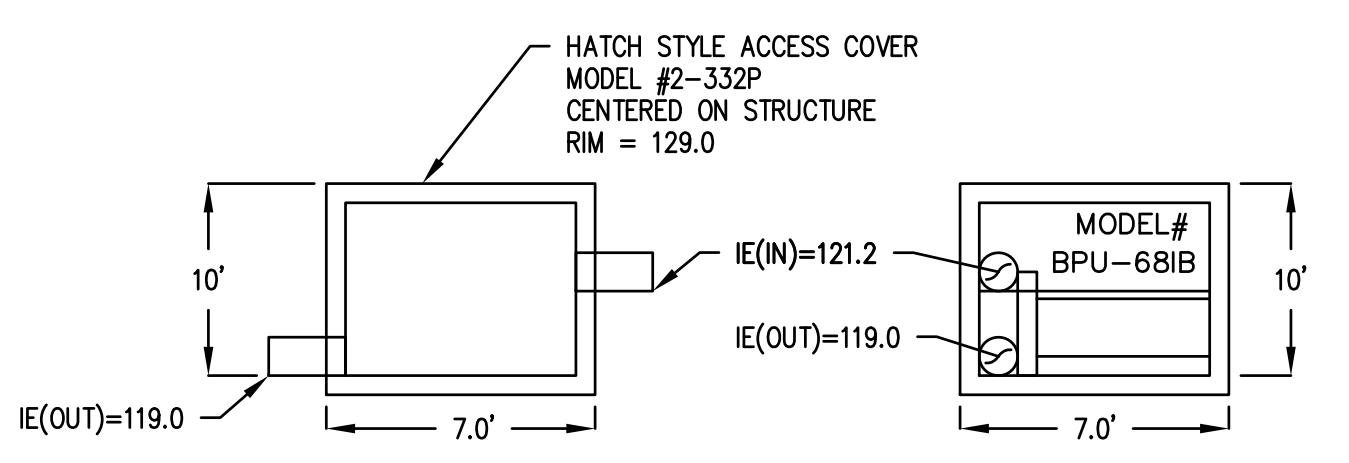
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opauburn.com

Phone: 800-892-1538
Fax: 253-755-4201
Email: opauburn@oldcastle.com



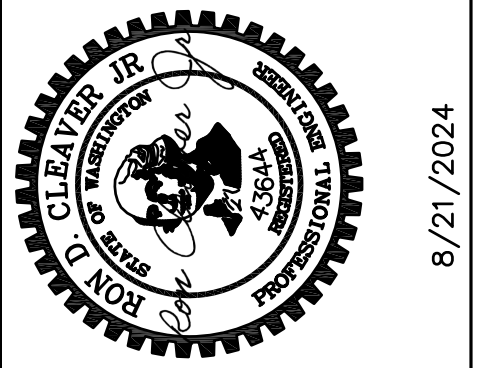
BIOPOD 1 CONFIGURATION SECTION
NTS



BIOPOD 2 CONFIGURATION SECTION
NTS

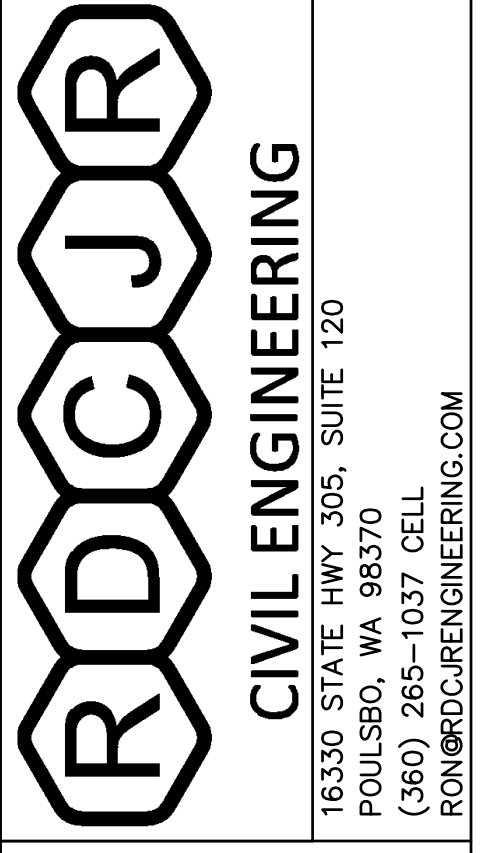
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DRAWN	RDC
CHECKED	RDC
MANAGER	RDC
DATE	9/22/2021
SCALE	AS NOTED

BY:	DATE:	
RDC	8/20/2024	
REVISION BLOCK:	DESCRIPTION:	
#	1	REVISED PER CITY COMMENTS, DATED 6/20/24

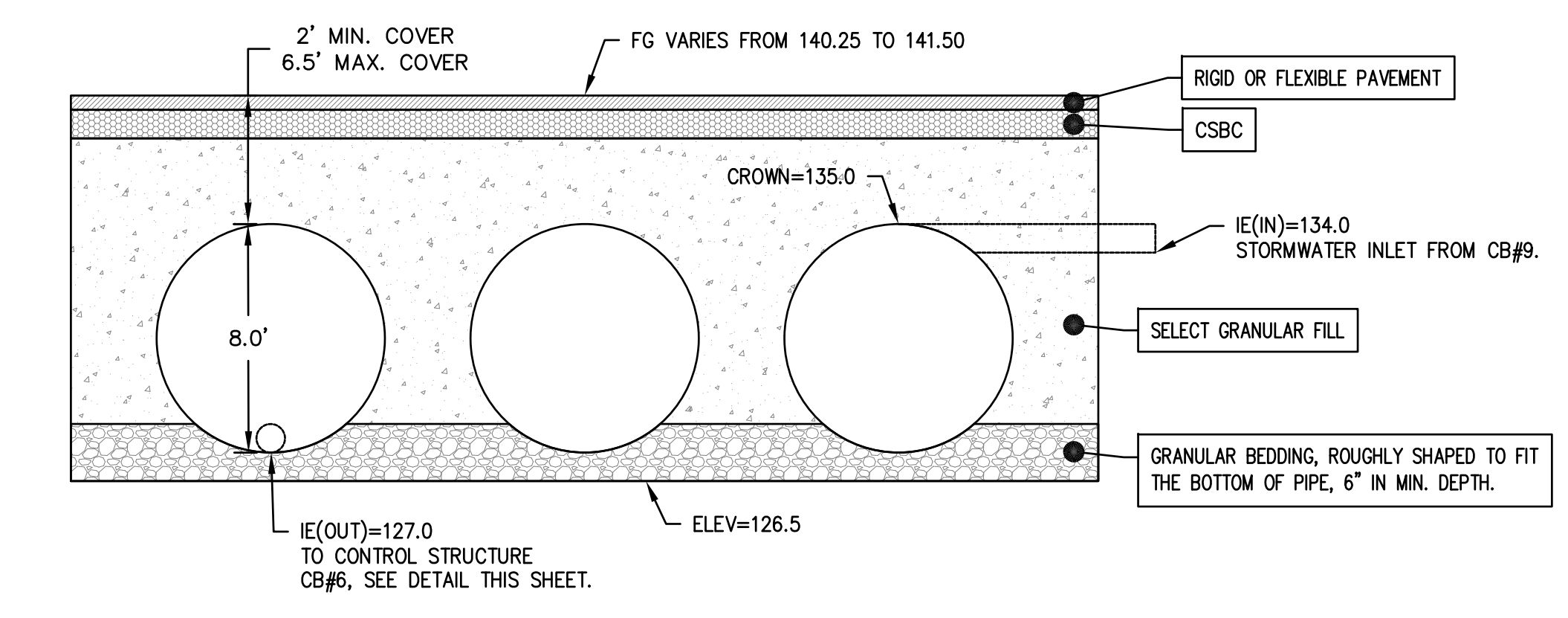


PROJECT: AKTIV – SPR
STORM DETAILS (1 OF 3)

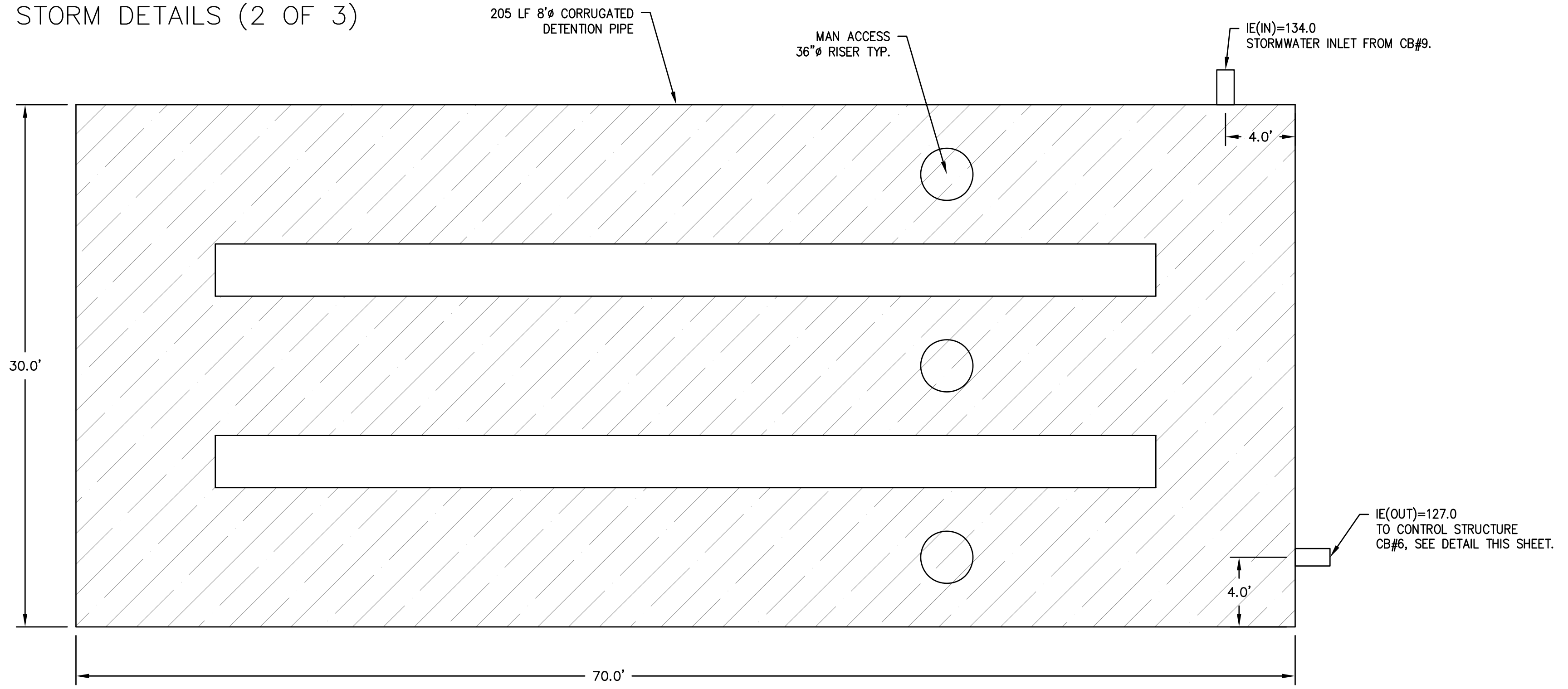
CLIENT: CHINOOK PROPERTIES, INC.
KELLY CLARK
10861 OLD FRONTIER ROAD NW
SILVERDALE, WA 98383
(360) 613-4098
KELLY@CHINOOKCONTRACTORS.COM



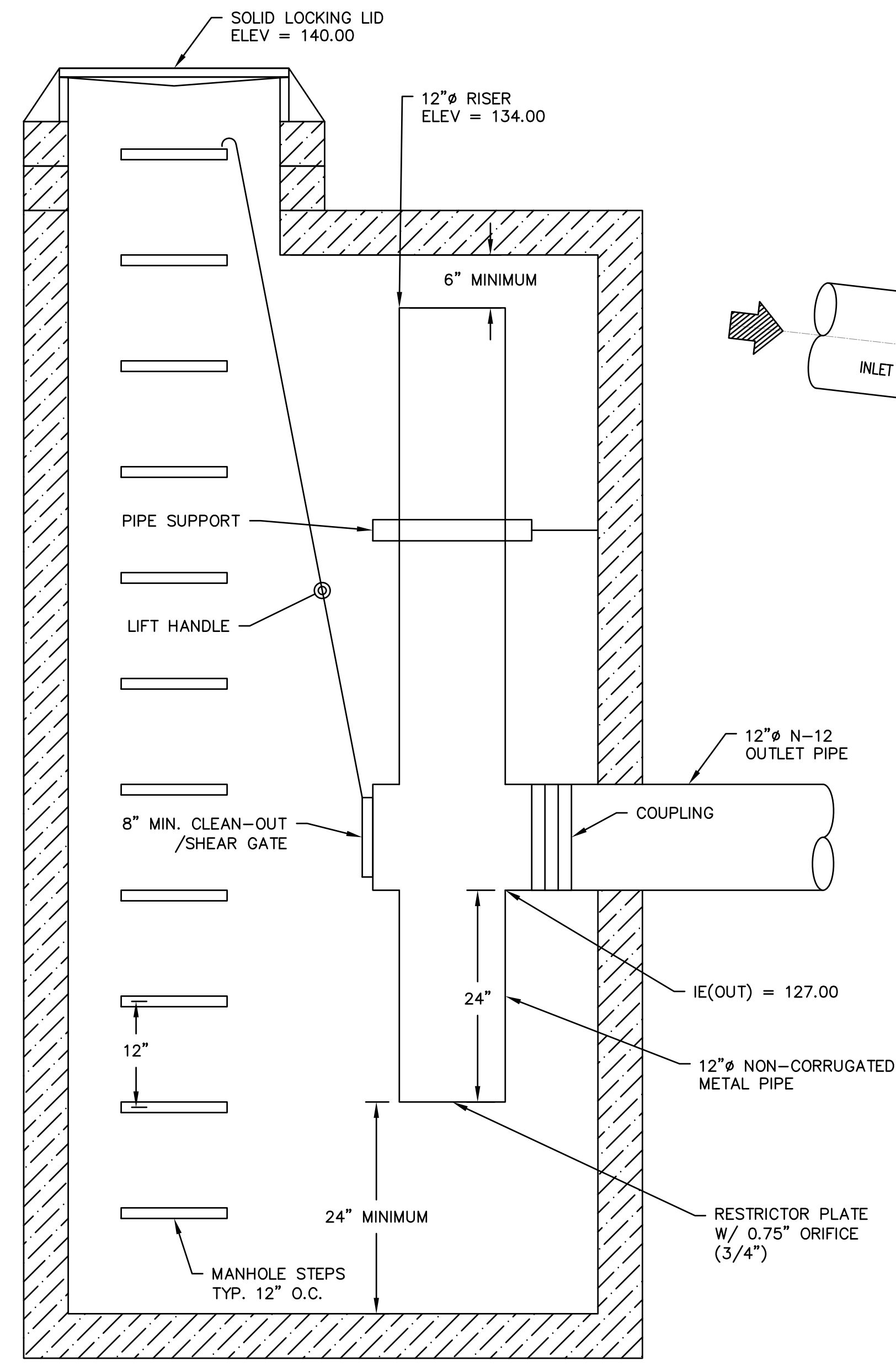
AKTIV - SPR
STORM DETAILS (2 OF 3)



CORRUGATED CMP PIPE DETENTION 1 SYSTEM
SECTION VIEW
NTS

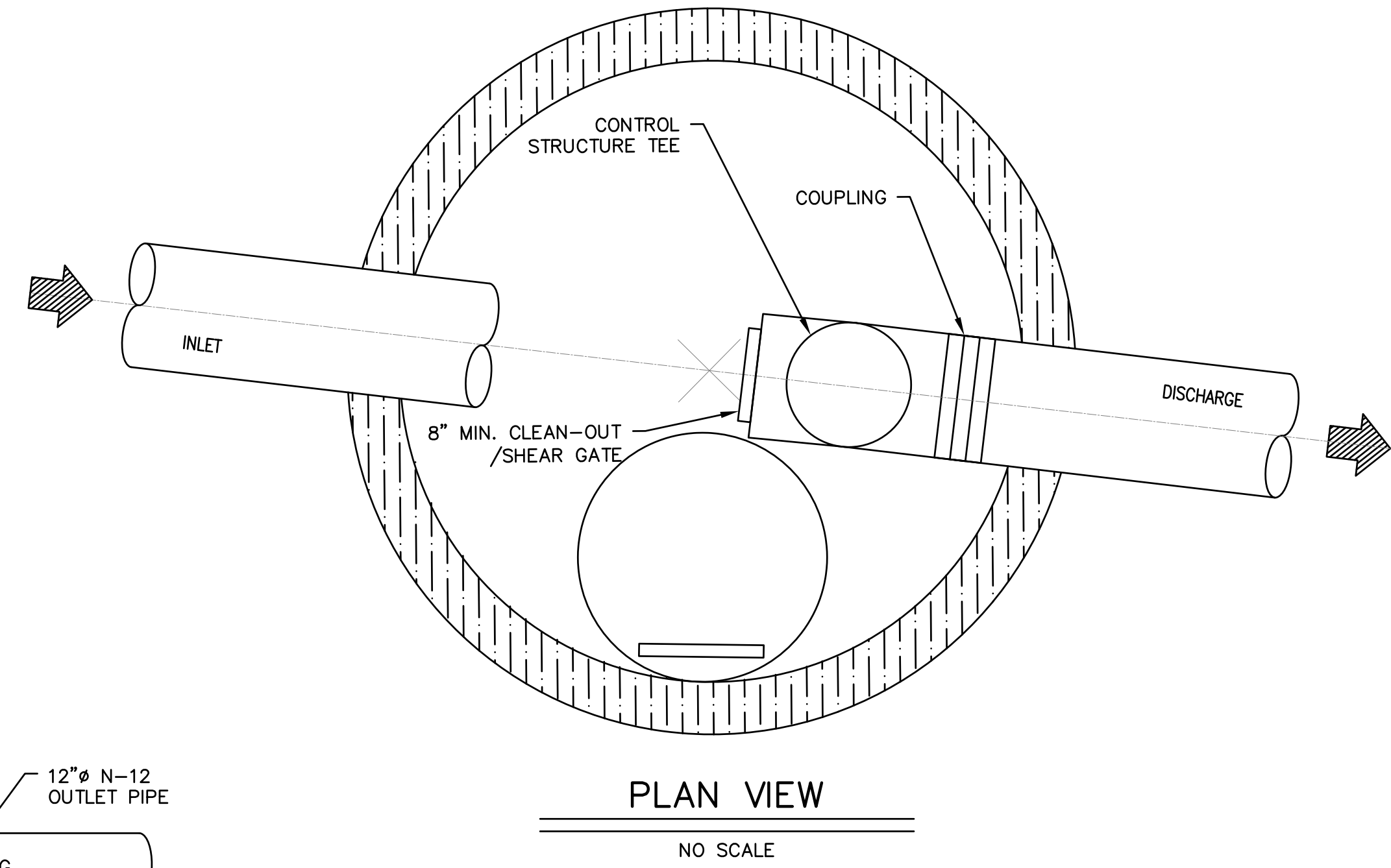


CORRUGATED CMP PIPE DETENTION 1 SYSTEM
PLAN VIEW
NTS



ELEVATION VIEW
NO SCALE

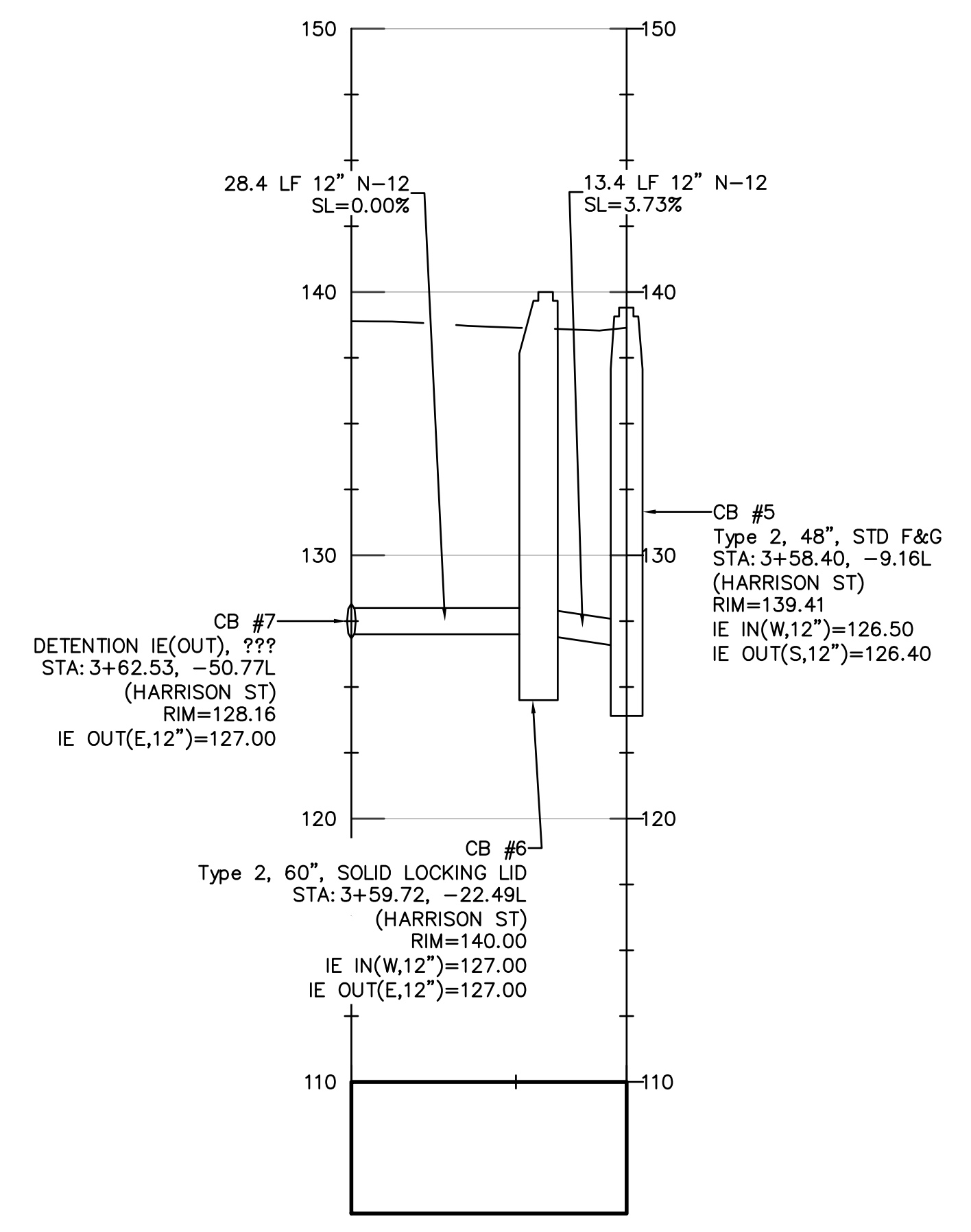
CB#6
TYPE 2, 60"Ø CONTROL STRUCTURE
NO SCALE



PLAN VIEW
NO SCALE

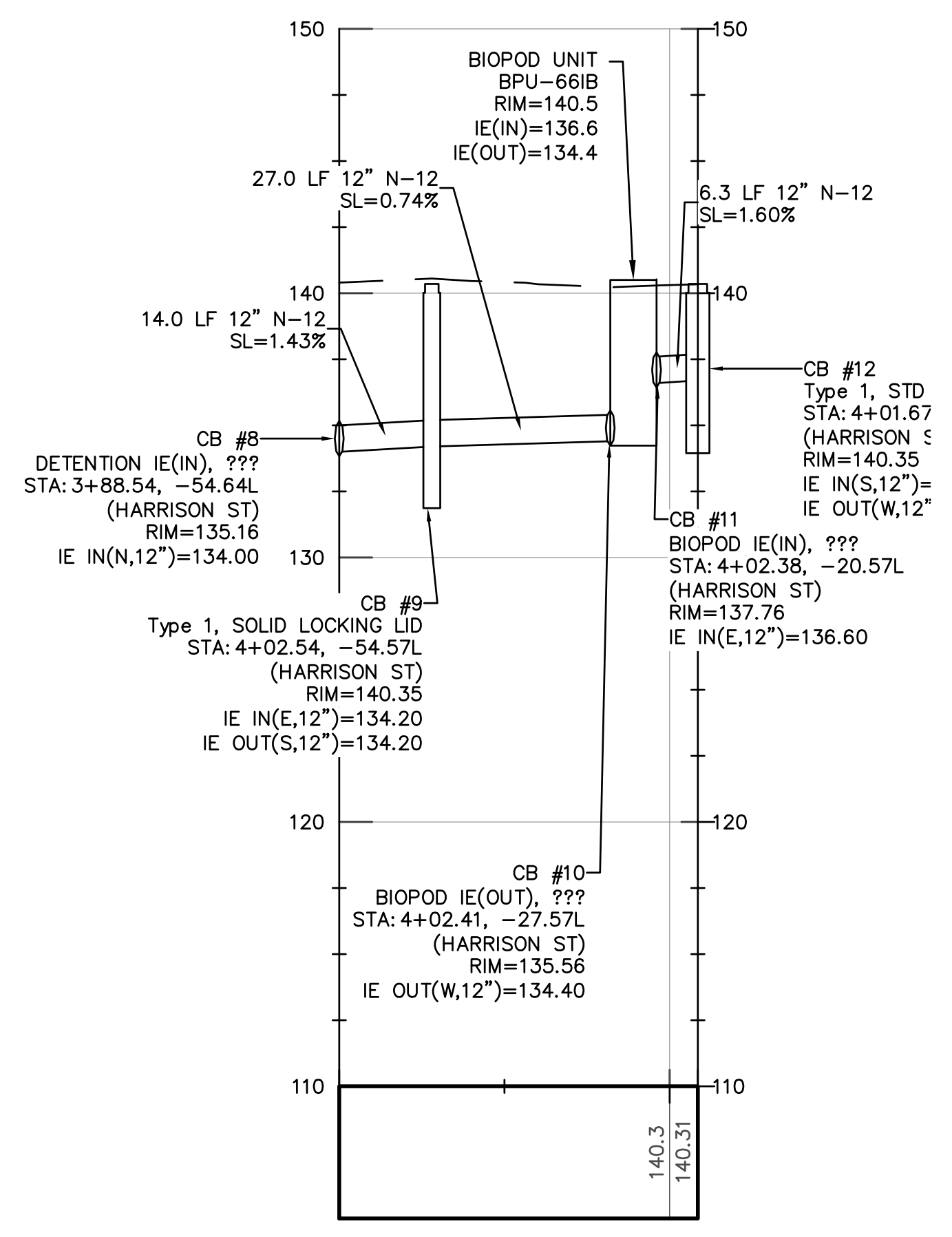
- NOTES:
- METAL PARTS: CORROSION RESISTANT GALVANIZED PIPE PARTS TO HAVE ASPHALT TREATMENT 1.
 - FRAME & LADDER OR STEPS OFFSET SO:
 - CLEAN-OUT GATE IS VISIBLE FROM TOP
 - CLIMB-DOWN SPACE IS CLEAR OF RISER AND CLEAN-OUT GATE.

STORM OUTLET
HORIZONTAL SCALE 1" = 20'
VERTICAL SCALE 1" = 5'



Station

STORM INLET
HORIZONTAL SCALE 1" = 20'
VERTICAL SCALE 1" = 5'



Station

DESIGN	RDC
DRAWN	RDC
CHECKED	RDC
MANAGER	RDC
DATE	9/22/2021
SCALE	AS NOTED

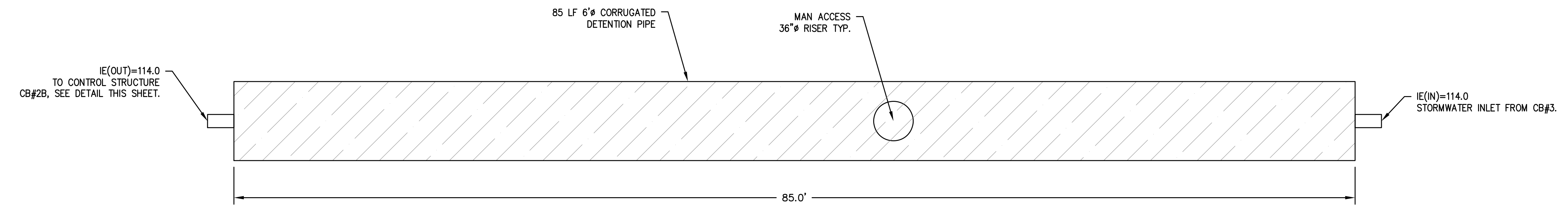
REVISION BLOCK:	DESCRIPTION:	DATE:
# 1	REVISED PER CITY COMMENTS, DATED 6/20/24	8/20/2024

PROJECT: **AKTIV - SPR**
STORM DETAILS (2 OF 3)

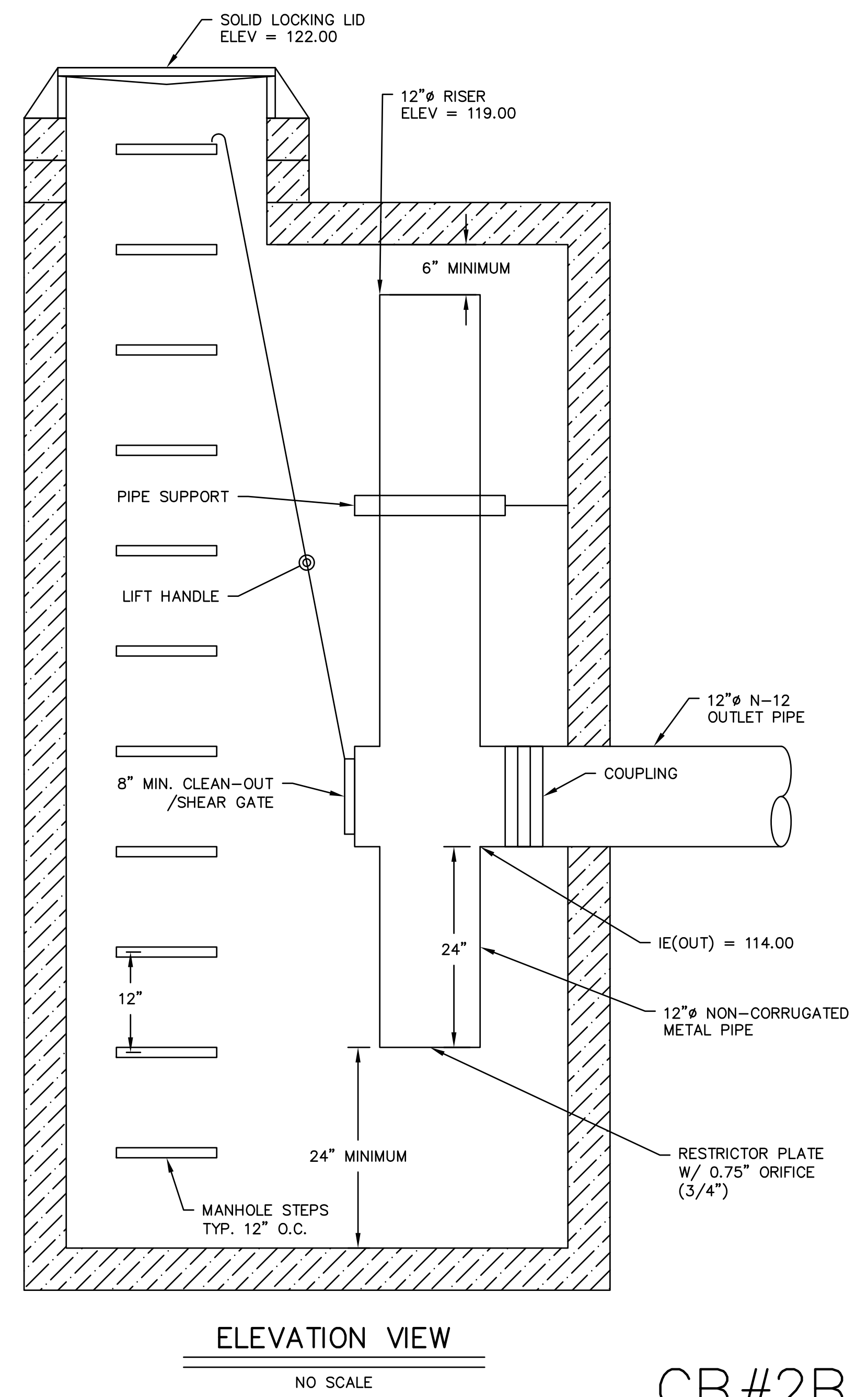
CLIENT: CHINOOK PROPERTIES, INC.
KELLY CLARK
10861 OLD FRONTIER ROAD NW
SILVERDALE, WA 98383
(360) 613-4098
KELLY@CHINOOKCONTRACTORS.COM

RDCJR
CIVIL ENGINEERING
16330 STATE HWY 305, SUITE 120
POULSBO, WA 98370
(360) 265-1037 CELL
@RDCJRENGINEERING.COM

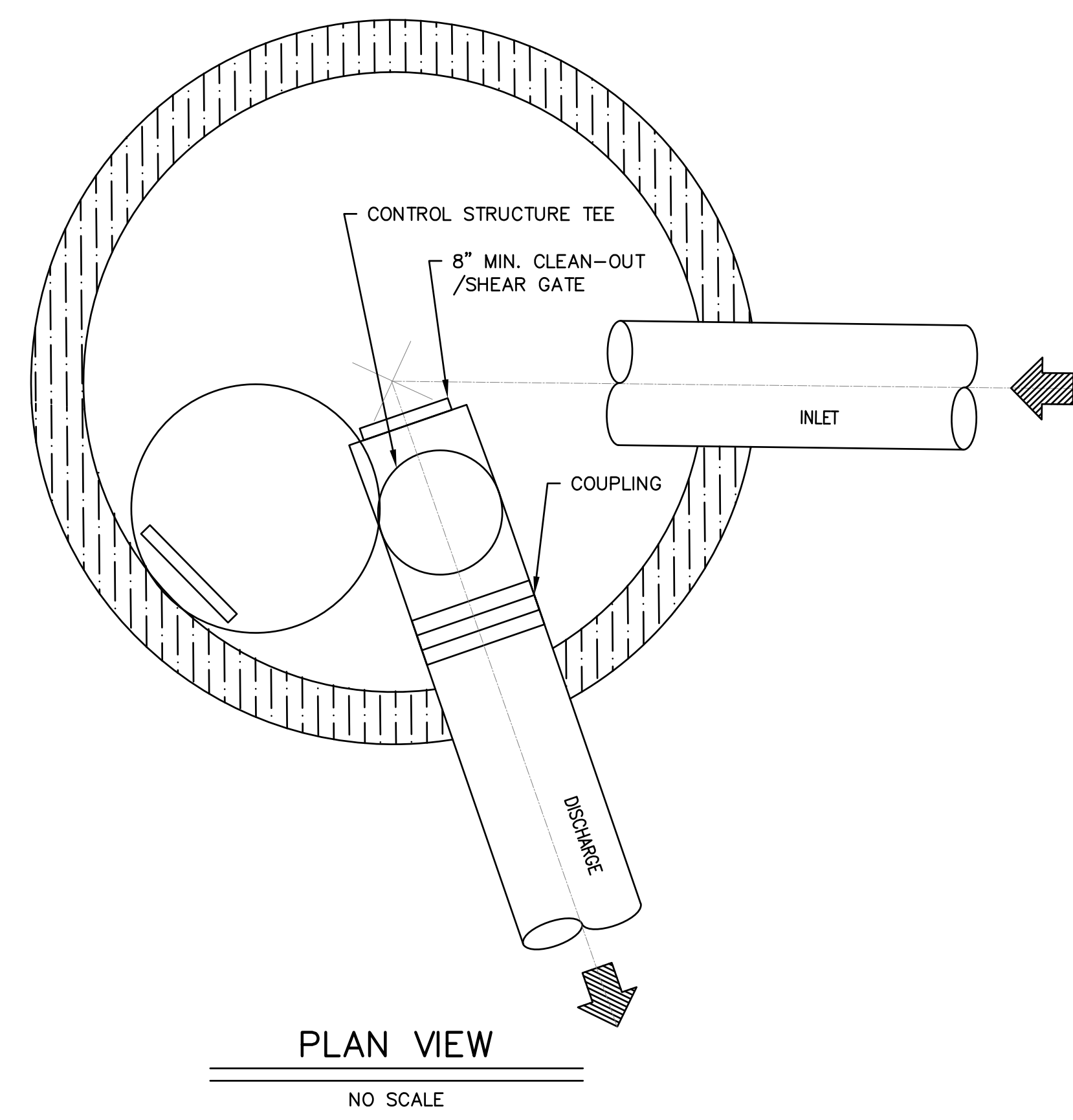
SHEET 9 OF 10
JOB # 005



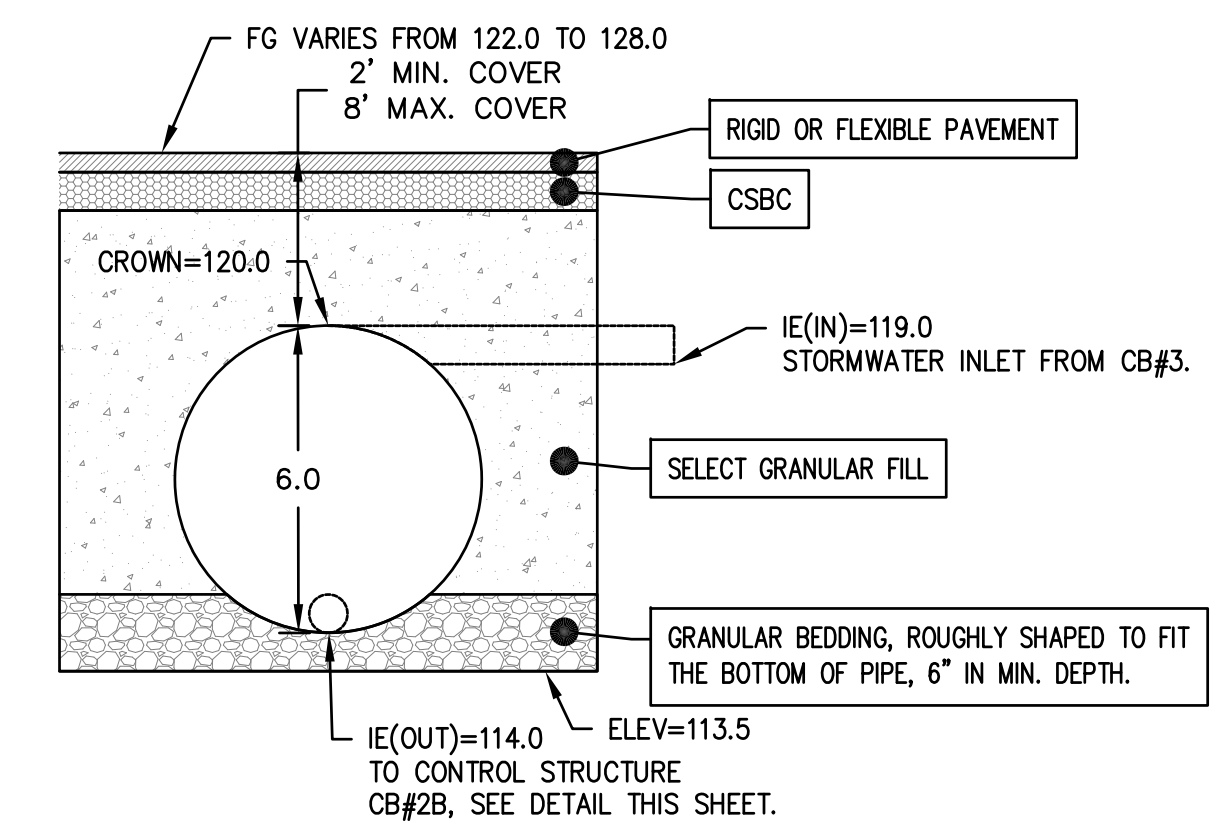
CORRUGATED CMP PIPE DETENTION 2 SYSTEM
PLAN VIEW
NTS



CB#2B
TYPE 2, 60" Ø CONTROL STRUCTURE
NO SCALE



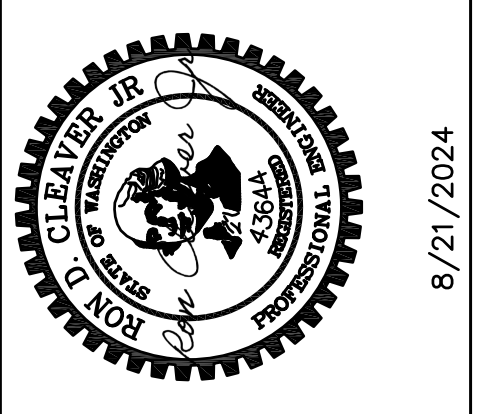
- NOTES:
- METAL PARTS: CORROSION RESISTANT GALVANIZED PIPE PARTS TO HAVE ASPHALT TREATMENT 1.
 - FRAME & LADDER OR STEPS OFFSET SO:
 - CLEAN-OUT GATE IS VISIBLE FROM TOP
 - CLIMB-DOWN SPACE IS CLEAR OF RISER AND CLEAN-OUT GATE.



CORRUGATED CMP PIPE DETENTION 2 SYSTEM
SECTION VIEW
NTS

DESIGN	RDC
DRAWN	RDC
CHECKED	RDC
MANAGER	RDC
DATE	9/22/2021
SCALE	AS NOTED

REVISION BLOCK:	BY:	DATE:
# 1	RDC	8/20/2024
DESCRIPTION:		
1 REVISED PER CITY COMMENTS, DATED 6/20/24		



PROJECT: **AKTIV – SPR**
STORM DETAILS (3 OF 3)

CLIENT: CHINOOK PROPERTIES, INC.
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